

A DEFINITIVE SUBDIVISION
OLDFIELD ESTATES
"AN OPEN SPACE COMMUNITY"
PHASE 2

ASSESSOR'S MAP 66, LOT 43 & MAP 52, LOTS 12-17, 19-21, 23 & 32
off OLDFIELD ROAD, BRIDGEWATER, MA
DATE: OCTOBER 12, 2016

PARCEL DATA:

ASSESSOR'S MAP 66, LOT 43, MAP 52, LOTS 12-17, 19-21, 23 & 32
CURRENT OWNER: 5P FORESTER REAL ESTATE TRUST
DEED REFERENCE: LOT 43 BOOK 31526, PAGE 16
LOTS 12-17, 19-21, 23 & 32 BK 31299, PG 186
TOTAL AREA: 72.9 Acres
ZONING REFERENCE: RESIDENTIAL A/B OPEN SPACE COMMUNITY*
MIN. LOT SIZE: 43,560 S.F. 21,780 S.F.
MIN. FRONTAGE: 150 FEET 50 FEET
MIN. FRONT YARD: 40 FEET 30 FEET
MIN. SIDE YARD: 20 FEET 12 FEET
MIN. REAR YARD: 30 FEET 20 FEET
* OPEN SPACE COMMUNITY REGULATIONS IN PLACE AT TIME MASTER PLAN WAS FILED.

THE FLOOD INSURANCE RATE MAP IDENTIFIES THE SUBJECT
PROPERTY AS BEING IN ZONE X; MAP 25023C0306K;
DATED JULY 16, 2015.

FOR REGISTRY USE ONLY

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED IN ACCORDANCE
WITH THE RULES & REGULATIONS OF THE REGISTRY OF DEEDS OF THE
COMMONWEALTH OF MASSACHUSETTS, AND THE DESIGN AND CONTENT
OF THE DEFINITIVE SUBDIVISION PLAN RELATIVE TO ENGINEERING
CONFORMS WITH ALL APPLICABLE RULES AND REGULATIONS
ESTABLISHED HEREIN WITH EXCEPTIONS SPECIFICALLY NOTED ON THE
PLAN.

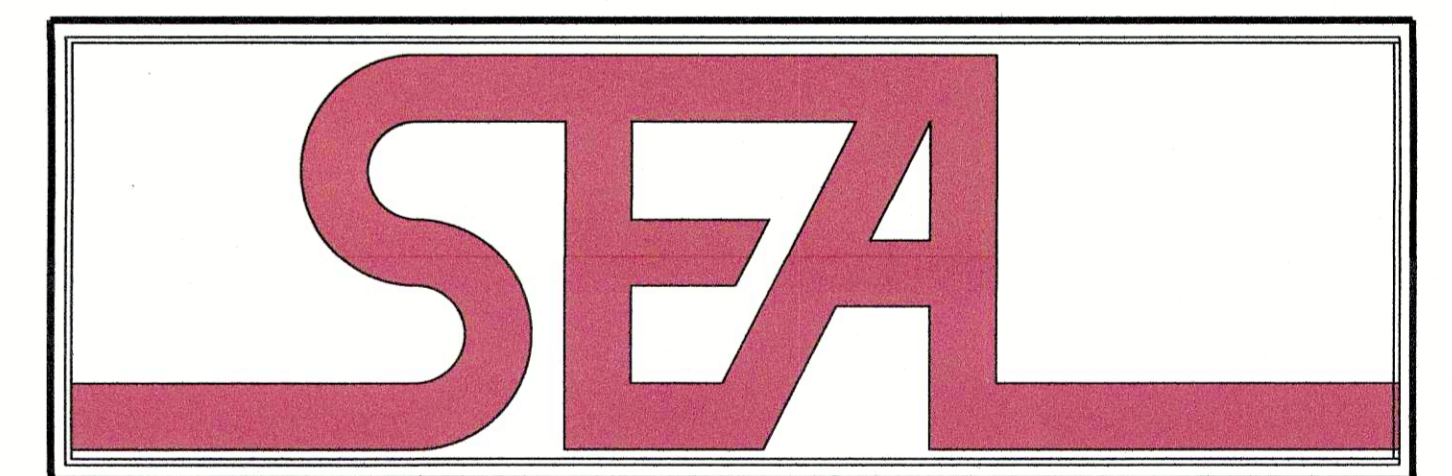


LAWRENCE P. SILVA, P.E. REG No. 33381-C

DATE 10-12-2016

APPLICANT / PREPARED FOR:
5P FORESTER REAL ESTATE TRUST
640 AUBURN STREET
BRIDGEWATER, MASSACHUSETTS 02324

PREPARED BY:
SILVA ENGINEERING ASSOCIATES, P.C.
1615 BEDFORD STREET
BRIDGEWATER, MASSACHUSETTS 02324



LAWRENCE P. SILVA, P.E.

WAIVER REQUESTS:

- SECTION V. B.9-CURBING- TO ALLOW FOR THE USE OF CAPE COD BERM IN LIEU OF VERTICAL GRANITE CURBING ON XX LANE FROM STATION 0+48 TO STATION 1+90 WHERE THE ROADWAY GRADE EXCEEDS 4.5 PERCENT.
- SECTION V. B.25-MONUMENTS- TO ALLOW FOR THE PLACEMENT OF CONCRETE BOUND IN LIEU OF GRANITE BOUNDS.

NOTES:

PLANS SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN A COVENANT, TO BE RECORDED HEREWITH.

BRIDGEWATER BOARD OF HEALTH

DATE

BRIDGEWATER PLANNING BOARD

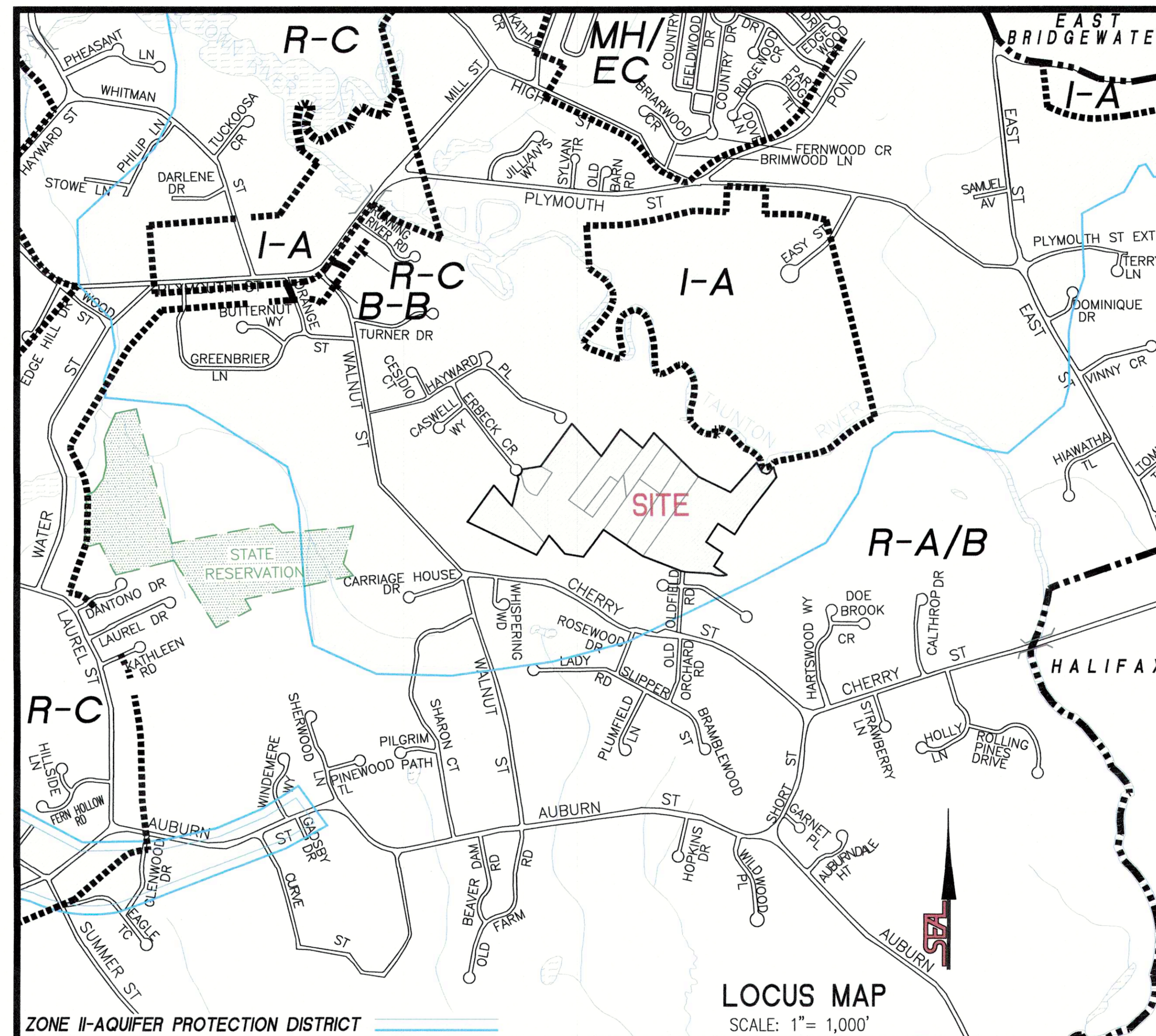
APPROVAL UNDER SECTION 81-U SUBDIVISION CONTROL LAW REQUIRED

DATE

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS
PLAN BY THE BRIDGEWATER PLANNING BOARD HAS BEEN
RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF
APPEAL HAS BEEN RECEIVED DURING THE TWENTY DAYS NEXT
AFTER SUCH RECEIPT OF SAID NOTICE.

DATE

BRIDGEWATER TOWN CLERK



SHEET #	CONTENTS	LATEST DATE
COV	COVER SHEET	10/12/2016
EX	EXISTING CONDITIONS	10/12/2016
LL1-LL6	LOT LAYOUT	10/12/2016
PP1-PP6	PLAN & PROFILE	10/12/2016
GR1-GR5	GRADING PLAN	10/12/2016
CD1-CD2	CONSTRUCTION DETAILS	10/12/2016
PRE	PRE-DEVELOPMENT	10/12/2016
POST	POST-DEVELOPMENT	10/12/2016
EC	SEDIMENT & EROSION CONTROL	10/12/2016

REVISIONS			
DATE	DRAWN	DESCRIPTION	
DRAWN	DATE	ACAD FILE	SHEET
SRM/RAB	10/12/16	05056WS3	COVER

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BRIDGEWATER PLANNING BOARD

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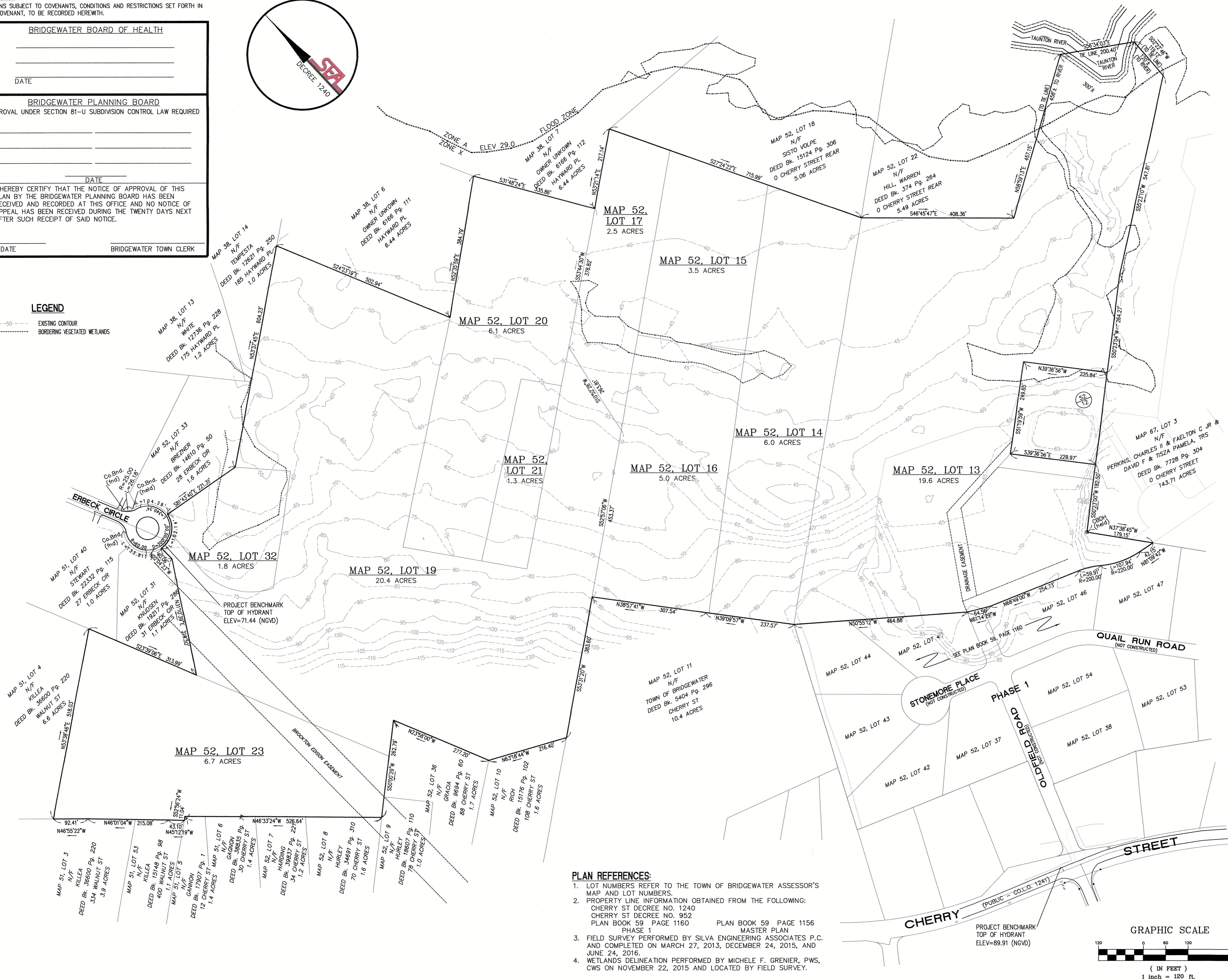
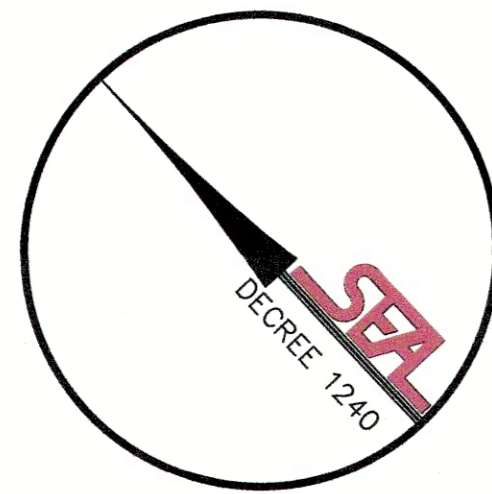
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DATE

BRIDGEWATER TOWN CLERK

LEGEND

---50--- EXISTING CONTOUR
 BORDERING VEGETATED WETLANDS



PLAN REFERENCES:

1. LOT NUMBERS REFER TO THE TOWN OF BRIDGEWATER ASSESSOR'S MAP AND LOT NUMBERS.
2. PROPERTY LINE INFORMATION OBTAINED FROM THE FOLLOWING:
 CHERRY ST DECREE NO. 1240
 CHERRY ST DECREE NO. 952
 PLAN BOOK 59 PAGE 1160
 PHASE 1
 MASTER PLAN
 PLAN BOOK 59 PAGE 1156
3. FIELD SURVEY PERFORMED BY SILVA ENGINEERING ASSOCIATES P.C. AND COMPLETED ON MARCH 27, 2013, DECEMBER 24, 2015, AND JUNE 24, 2016.
4. WETLANDS DELINEATION PERFORMED BY MICHELE F. GRENIER, PWS, CWS ON NOVEMBER 22, 2015 AND LOCATED BY FIELD SURVEY.

FOR REGISTRY USE ONLY

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DATE 10-13-16

DATE

JONATHAN J. PINK, P.L.S. REG. NO. 41787

DATE 10-13-16

DATE

LAWRENCE P. SILVA, P.E. REG NO. 33381-C

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REVISIONS

DATE	DRAWN	DESCRIPTION

**DEFINITIVE SUBDIVISION
 OPEN SPACE COMMUNITY DEVELOPMENT
 OLDFIELD ESTATES
 PHASE 2**

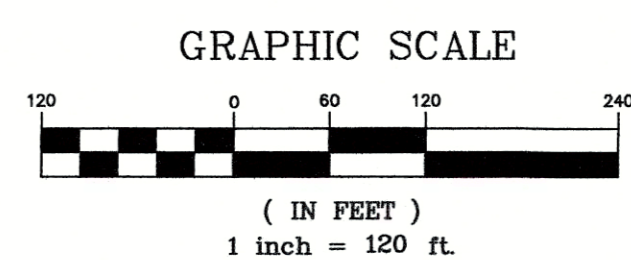
'EXISTING CONDITIONS'

SITE:
 ASSESSOR'S MAP 66, LOT 43
 ASSESSOR'S MAP 52, LOTS 12-17,
 19-21, 23 & 32
 off OLDFIELD ROAD
 BRIDGEWATER, MASSACHUSETTS

PREPARED FOR:
 SP FORESTER REAL ESTATE TRUST

SILVA ENGINEERING ASSOCIATES, P.C.
 CIVIL ENGINEERS, LAND SURVEYORS
 & ENVIRONMENTAL CONSULTANTS
 1615 BEDFORD STREET
 BRIDGEWATER, MA 02324
 PHONE (508) 697-3100 FAX (508) 697-3136
 www.silvaeng.com

SCALE	DRAWN	DATE	ACAD FILE	SHEET
1" = 120'	SRM/RAB	10/12/16	05056WS3	EX



NOTES:

PLANS SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN A COVENANT, TO BE RECORDED HEREWITH.

BRIDGEWATER BOARD OF HEALTH

DATE

BRIDGEWATER PLANNING BOARD

APPROVAL UNDER SECTION 81-U SUBDIVISION CONTROL LAW REQUIRED

DATE

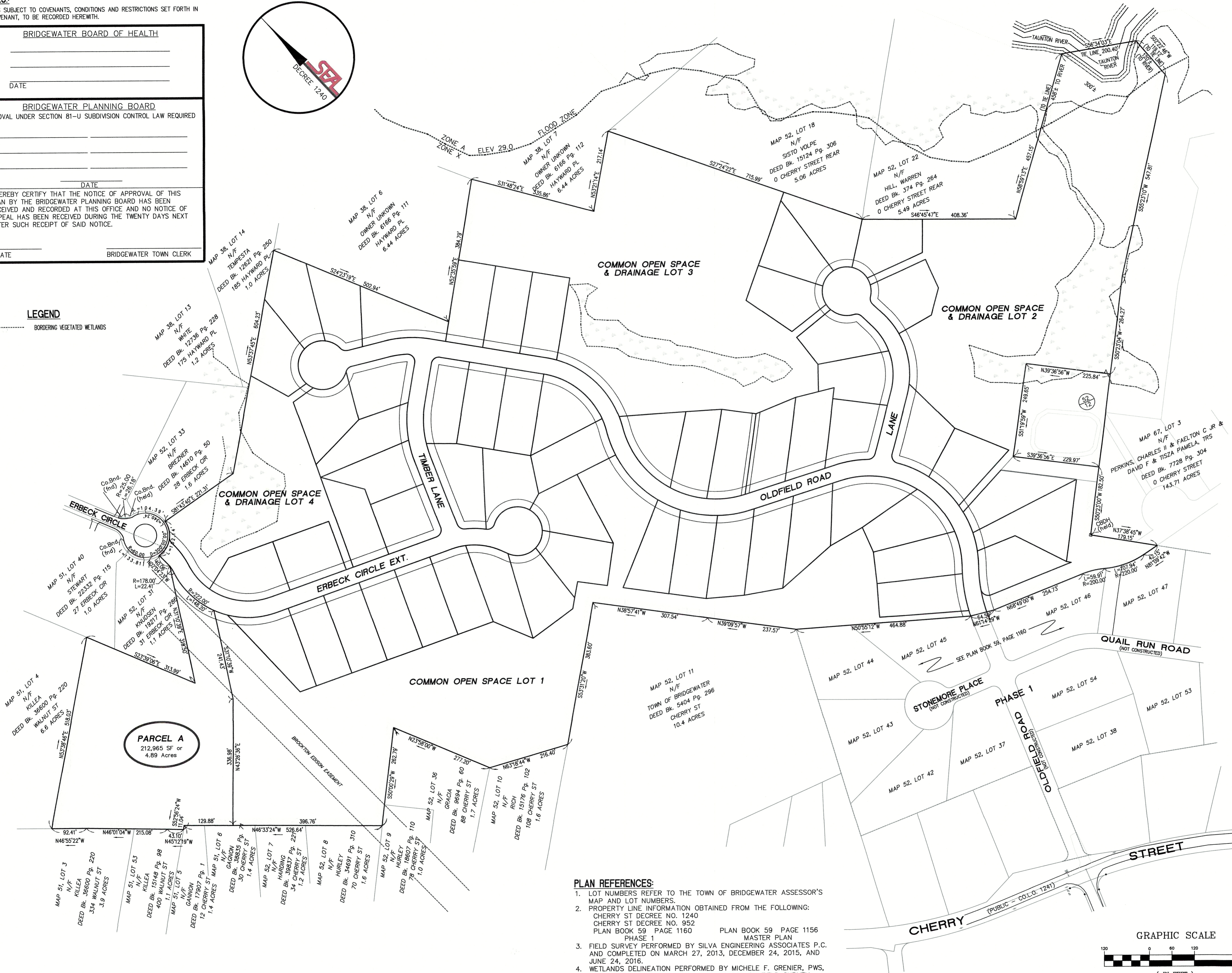
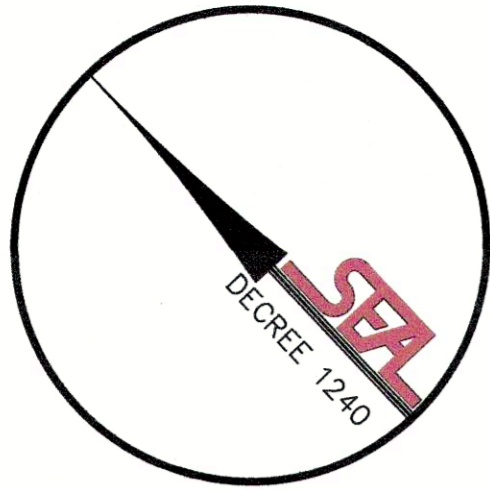
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DATE

BRIDGEWATER TOWN CLERK

LEGEND

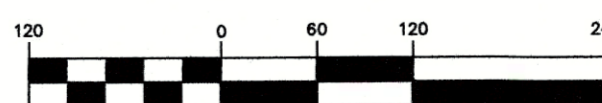
BORDERING VEGETATED WETLANDS



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PLAN BOOK 59 PAGE 1156
PHASE 1
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GRAPHIC SCALE



(IN FEET)
1 inch = 120 ft.

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DATE

10-13-16

JONATHAN J. PINK, P.L.S.



DATE

10-13-16

LAWRENCE P. SILVA, P.E.

REG. NO. 33381-C



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THE FLOOD INSURANCE RATE MAP IDENTIFIES THE SUBJECT PROPERTY AS BEING IN ZONE X; MAP 2502300306K; DATED JULY 16, 2015.

REVISIONS

DATE	DRAWN	DESCRIPTION

DEFINITIVE SUBDIVISION
OPEN SPACE COMMUNITY DEVELOPMENT
OLDFIELD ESTATES
PHASE 2

"LOT LAYOUT"

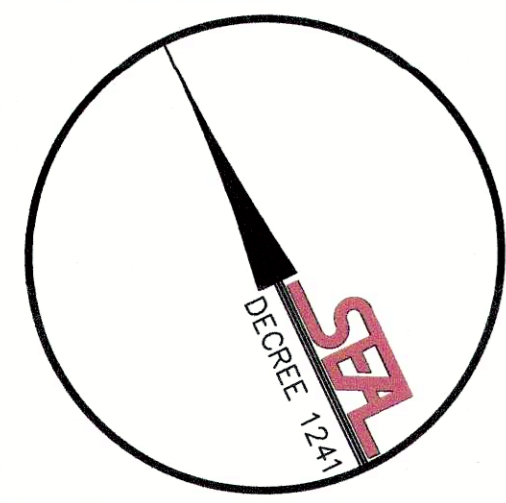
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off OLD FIELD ROAD
BRIDGEWATER, MASSACHUSETTS

PREPARED FOR:
5P FORESTER REAL ESTATE TRUST

SEA SILVA
ENGINEERING
ASSOCIATES, P.C.

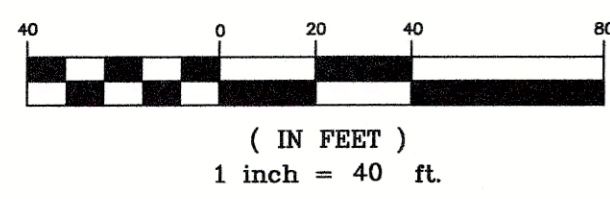
CIVIL ENGINEERS, LAND SURVEYORS
& ENVIRONMENTAL CONSULTANTS
1615 BEDFORD STREET
BRIDGEWATER, MA. 02324
PHONE (508) 697-3100 FAX (508) 697-3136
www.silvaeng.com

SCALE	DRAWN	DATE	ACAD FILE	SHEET
1" = 120'	SRM/RAB	10/12/16	05056WS3	LL1

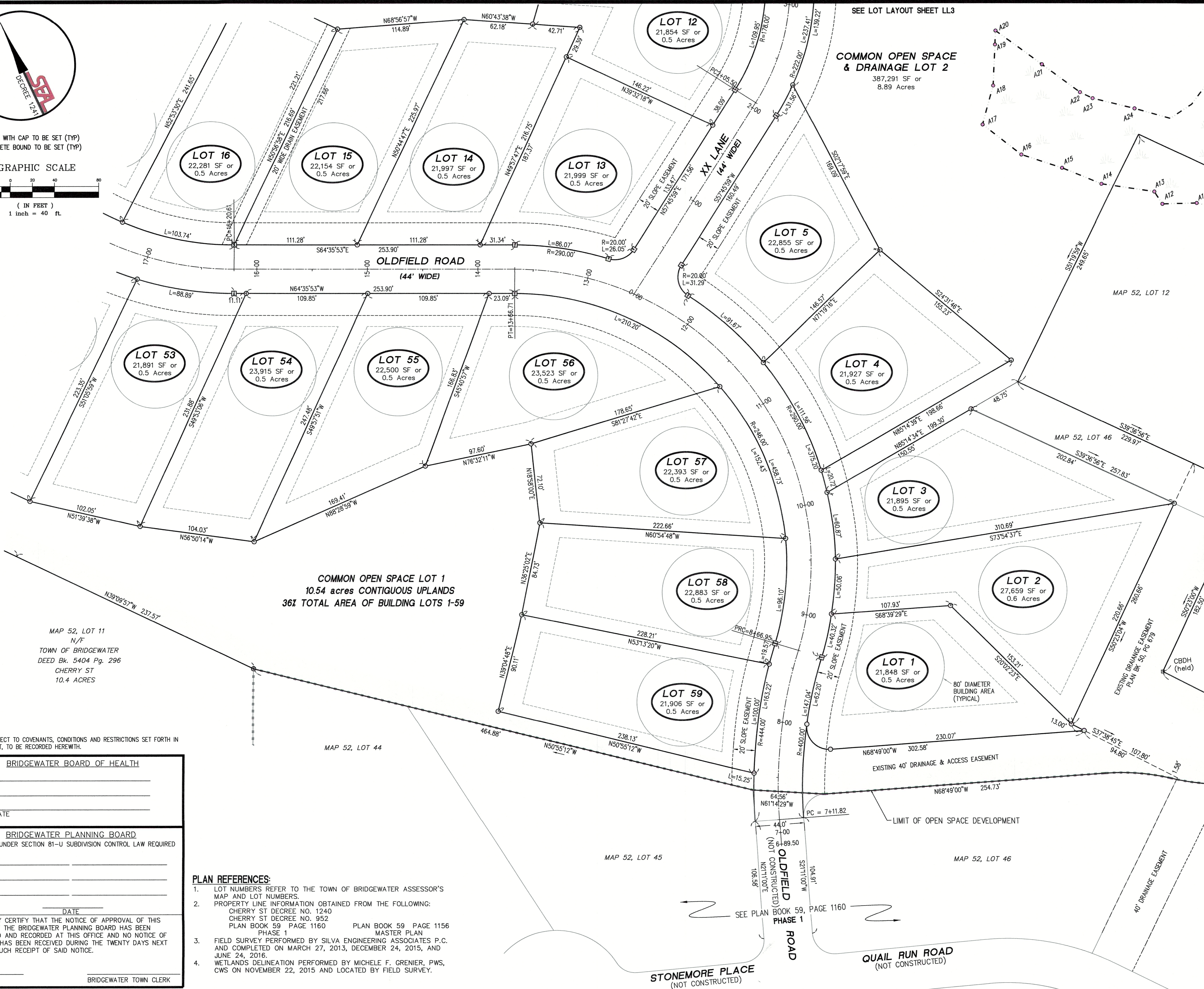


○ REBAR WITH CAP TO BE SET (TYP)
□ CONCRETE BOUND TO BE SET (TYP)

GRAPHIC SCALE



SEE LOT LAYOUT SHEET LL4



NOTES:

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BRIDGEWATER BOARD OF HEALTH

DATE

BRIDGEWATER PLANNING BOARD

APPROVAL UNDER SECTION 81-U SUBDIVISION CONTROL LAW REQUIRED

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PLAN BOOK 59 PAGE 1156
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SEE LOT LAYOUT SHEET LL3

COMMON OPEN SPACE
& DRAINAGE LOT 2
387,291 SF or
8.89 Acres

FOR REGISTRY USE ONLY

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DATE 10-13-16

JONATHAN J. PINK, P.L.S. MAP 41787
JONATHAN J. PINK, P.L.S. MAP 41787

DATE 10-13-16

LAWRENCE P. SILVA, P.E. REG NO. 33381-C
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REVISIONS		
DATE	DRAWN	DESCRIPTION

DEFINITIVE SUBDIVISION
OPEN SPACE COMMUNITY DEVELOPMENT
OLDFIELD ESTATES
PHASE 2

'LOT LAYOUT'

SITE:
ASSESSOR'S MAP 66, LOT 43
ASSESSOR'S MAP 52, LOTS 12-17,
19-21, 23 & 32
off OLDFIELD ROAD
BRIDGEWATER, MASSACHUSETTS

PREPARED FOR:
5P FORESTER REAL ESTATE TRUST

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SCALE	DRAWN	DATE	ACAD FILE	SHEET
1" = 40'	MBG	10/12/16	05056WS3	LL2

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○ REBAR WITH CAP TO BE SET (TYP)
□ CONCRETE BOUND TO BE SET (TYP)

SEE LOT LAYOUT SHEET LL4

NOTES:

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BRIDGEWATER BOARD OF HEALTH

DATE

BRIDGEWATER PLANNING BOARD

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BRIDGEWATER TOWN CLERK

COMMON OPEN SPACE & DRAINAGE LOT 3

419,912 SF or
9.64 Acres

COMMON OPEN SPACE & DRAINAGE LOT 2

387,291 SF or
8.89 Acres

LOT 18
21,805 SF or
0.5 Acres

LOT 17
22,054 SF or
0.5 Acres

LOT 16
22,281 SF or
0.5 Acres

LOT 15
22,154 SF or
0.5 Acres

LOT 14
21,997 SF or
0.5 Acres

LOT 13
21,999 SF or
0.5 Acres

LOT 12
21,854 SF or
0.5 Acres

LOT 6
22,170 SF or
0.5 Acres

LOT 9
21,827 SF or
0.5 Acres

LOT 8
22,053 SF or
0.5 Acres

LOT 7
21,835 SF or
0.5 Acres

LOT 52
22,091 SF or
0.5 Acres

LOT 53
21,891 SF or
0.5 Acres

LOT 54
23,915 SF or
0.5 Acres

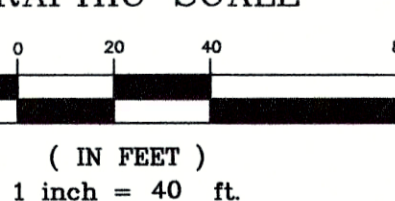
LOT 55
22,500 SF or
0.5 Acres

LOT 56
23,523 SF or
0.5 Acres

LOT 5
22,855 SF or
0.5 Acres

LOT 4
21,927 SF or
0.5 Acres

GRAPHIC SCALE



FOR REGISTRY USE ONLY

DATE 10-13-16

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LAWRENCE P. SILVA, P.E. REG. NO. 33381-C

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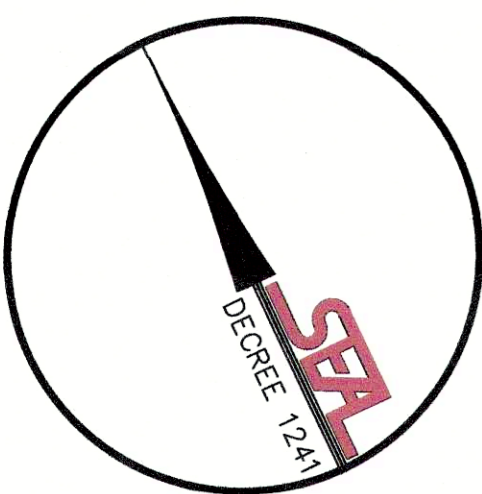
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○ REBAR WITH CAP TO BE SET (TYP)
□ CONCRETE BOUND TO BE SET (TYP)

MAP 38, LOT 7
N/F
OWNER UNKNOWN
DEED Bk. 6166 Pg. 112
HAYWARD PL
6.44 ACRES

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MIN. REAR YARD: 30 FEET 20 FEET

* OPEN SPACE COMMUNITY REGULATIONS IN PLACE AT TIME MASTER PLAN WAS FILED.

THE FLOOD INSURANCE RATE MAP IDENTIFIES THE SUBJECT PROPERTY AS BEING IN ZONE X; MAP 25023C0306K; DATED JULY 16, 2015.

REVISIONS		
DATE	DRAWN	DESCRIPTION

DEFINITIVE SUBDIVISION
OPEN SPACE COMMUNITY DEVELOPMENT
OLDFIELD ESTATES
PHASE 2

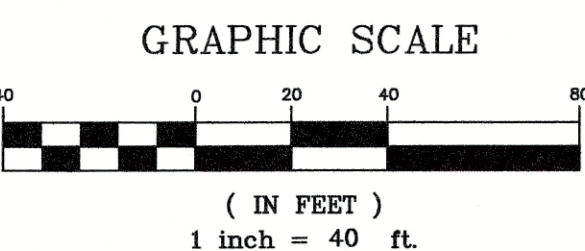
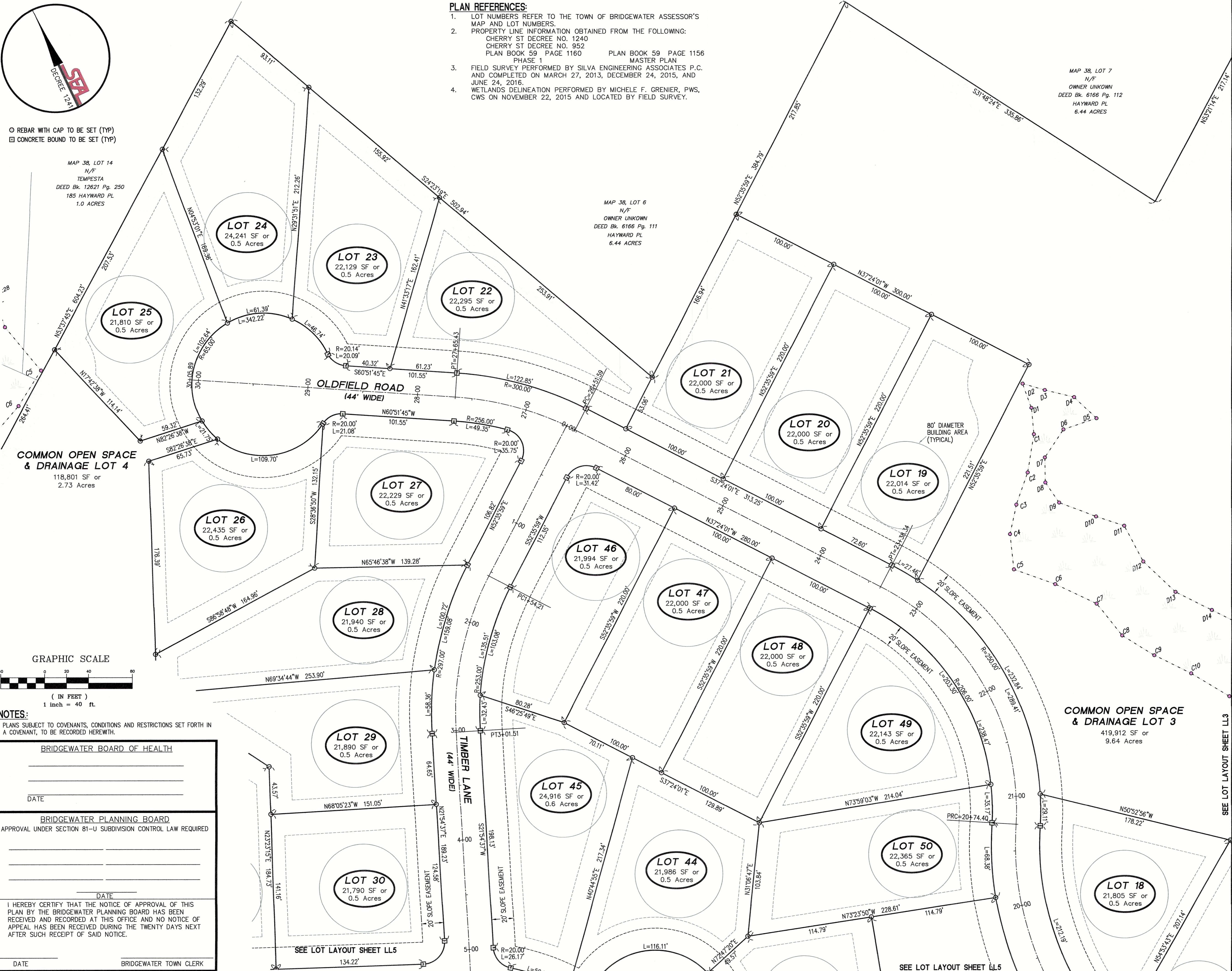
'LOT LAYOUT'

SITE:
ASSESSOR'S MAP 66, LOT 43
ASSESSOR'S MAP 52, LOTS 12-17,
19-21, 23 & 32
off OLDFIELD ROAD
BRIDGEWATER, MASSACHUSETTS

PREPARED FOR:
SP FORESTER REAL ESTATE TRUST

SILVA ENGINEERING ASSOCIATES, P.C.
CIVIL ENGINEERS, LAND SURVEYORS
& ENVIRONMENTAL CONSULTANTS
1615 BEDFORD STREET
BRIDGEWATER, MA. 02324
PHONE (508) 697-3100 FAX (508) 697-3136
www.silvaeng.com

SCALE	DRAWN	DATE	ACAD FILE	SHEET
1"= 40'	MGB	10/12/16	05056WS3	LL4



NOTES:

PLANS SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN A COVENANT, TO BE RECORDED HERewith.

BRIDGEWATER BOARD OF HEALTH

DATE

BRIDGEWATER PLANNING BOARD

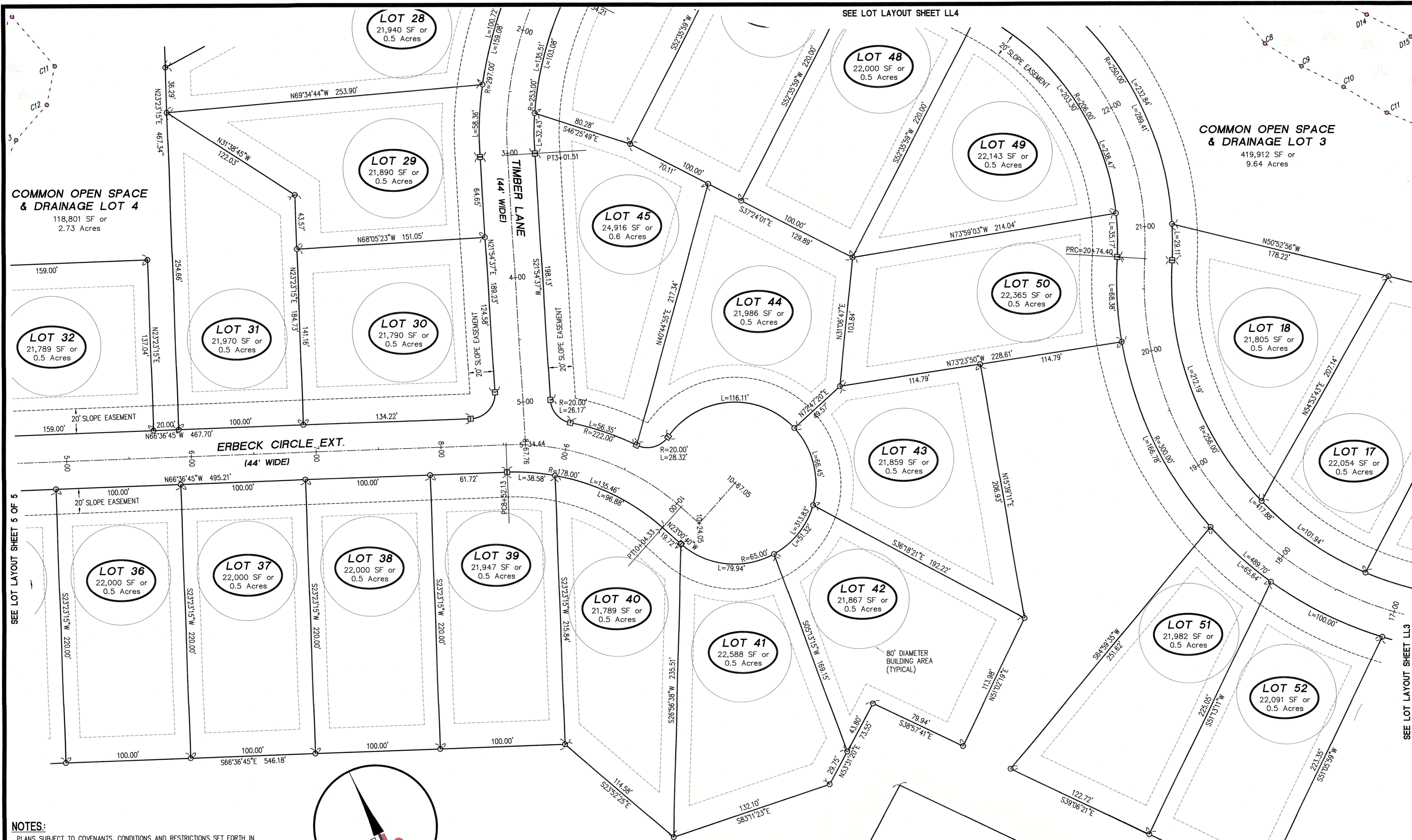
APPROVAL UNDER SECTION 81-U SUBDIVISION CONTROL LAW REQUIRED

DATE

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE BRIDGEWATER PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL HAS BEEN RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT OF SAID NOTICE.

DATE

BRIDGEWATER TOWN CLERK



NOTES:
PLANS SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN A COVENANT, TO BE RECORDED HEREWITH.

BRIDGEWATER BOARD OF HEALTH	
_____	_____
_____	_____
DATE	_____
BRIDGEWATER PLANNING BOARD	
APPROVAL UNDER SECTION 81-U SUBDIVISION CONTROL LAW REQUIRED	
_____	_____
_____	_____
DATE	_____
I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE BRIDGEWATER PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL HAS BEEN RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT OF SAID NOTICE.	
DATE	BRIDGEWATER TOWN CLERK

- PLAN REFERENCES:
- LOT NUMBERS REFER TO THE TOWN OF BRIDGEWATER ASSESSOR'S MAP AND LOT NUMBERS.
 - PROPERTY LINE INFORMATION OBTAINED FROM THE FOLLOWING:
CHERRY ST DECREE NO. 1240
CHERRY ST DECREE NO. 952
PLAN BOOK 59 PAGE 1160
MASTER PLAN
 - FIELD SURVEY PERFORMED BY SILVA ENGINEERING ASSOCIATES P.C. AND COMPLETED ON MARCH 27, 2013, DECEMBER 24, 2015, AND JUNE 24, 2016.
 - WETLANDS DELINEATION PERFORMED BY MICHELE F. GRENIER, PWS, CWS ON NOVEMBER 22, 2015 AND LOCATED BY FIELD SURVEY.

FOR REGISTRY USE ONLY	
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES & REGULATIONS OF THE REGISTRY OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS, AND THE LAND BOUNDARY DATA AND THE TOPOGRAPHIC DATA SHOWN ON THE PLAN(S) HAVE BEEN OBTAINED, COMPILED AND PREPARED IN CONFORMANCE TO 250 CMR 6.01 AND 250 CMR 6.02 RESPECTIVELY, AS AMENDED; NOTING ANY DEVIATIONS FROM THESE REGULATIONS.	
DATE	10-13-16
JONATHAN J. PINK, P.L.S. REG. NO. 41787	
DATE	10-13-16
LAWRENCE P. SILVA, P.E. REG. NO. 33381-C	

PARCEL DATA:
ASSESSOR'S MAP 66, LOT 43, MAP 52, LOTS 12-17, 19-21, 23 & 32
CURRENT OWNER: SP FORESTER REAL ESTATE TRUST
DEED REFERENCE: LOT 43 BOOK 31526, PAGE 16
LOTS 12-17, 19-21, 23 & 32 BK 31299, PG 186
TOTAL AREA: 72.9 Acres
ZONING REFERENCE: RESIDENTIAL A/B OPEN SPACE COMMUNITY*
MIN. LOT SIZE: 43,560 S.F. 21,780 S.F.
MIN. FRONTAGE: 150 FEET 50 FEET
MIN. FRONT YARD: 40 FEET 30 FEET
MIN. SIDE YARD: 20 FEET 12 FEET
MIN. REAR YARD: 30 FEET 20 FEET
* OPEN SPACE COMMUNITY REGULATIONS IN PLACE AT TIME MASTER PLAN WAS FILED.
THE FLOOD INSURANCE RATE MAP IDENTIFIES THE SUBJECT PROPERTY AS BEING IN ZONE X; MAP 25023C0306K; DATED JULY 16, 2015.

REVISIONS		
DATE	DRAWN	DESCRIPTION

DEFINITIVE SUBDIVISION
OPEN SPACE COMMUNITY DEVELOPMENT
OLDFIELD ESTATES
PHASE 2

'LOT LAYOUT'

SITE:
ASSESSOR'S MAP 66, LOT 43
ASSESSOR'S MAP 52, LOTS 12-17,
19-21, 23 & 32
off OLDFIELD ROAD
BRIDGEWATER, MASSACHUSETTS

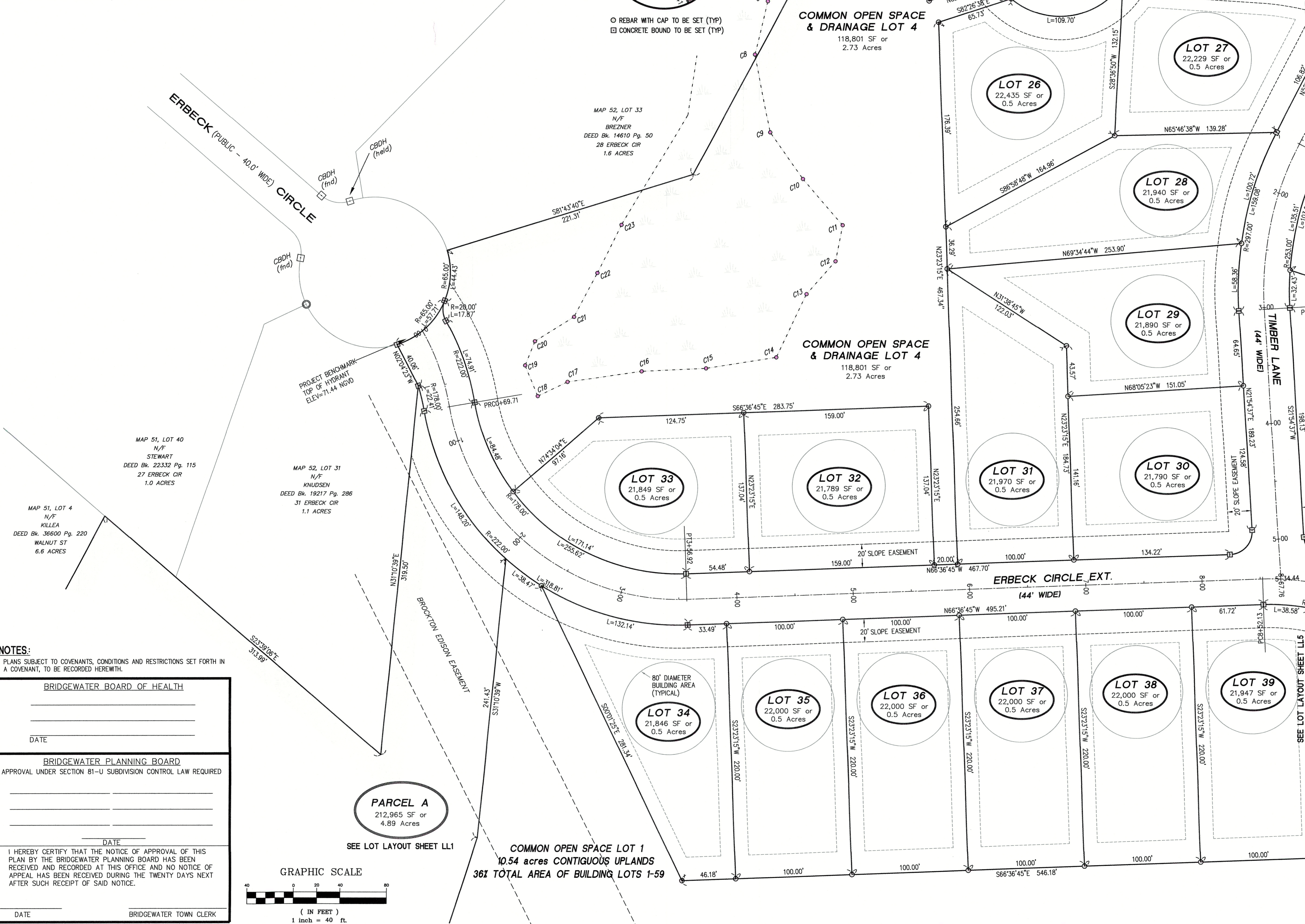
PREPARED FOR:
SP FORESTER REAL ESTATE TRUST

SILVA
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ASSOCIATES, P.C.
CIVIL ENGINEERS, LAND SURVEYORS
& ENVIRONMENTAL CONSULTANTS
1615 BEDFORD STREET
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PHONE (508) 697-3100 FAX (508) 697-3136
www.silvaeng.com

SCALE	DRAWN	DATE	ACAD FILE	SHEET
1" = 40'	MGB	10/12/16	05056WS3	LL5

PLAN REFERENCES:

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CHERRY ST DECREE NO. 952
PLAN BOOK 59 PAGE 1160
PLAN BOOK 59 PAGE 1156
MASTER PLAN
- FIELD SURVEY PERFORMED BY SILVA ENGINEERING ASSOCIATES P.C. AND COMPLETED ON MARCH 27, 2013, DECEMBER 24, 2015, AND JUNE 24, 2016.
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DATE 10-13-16
JONATHAN J. PINK, P.L.S. REG. NO. 41787

DATE 10-13-16
LAWRENCE P. SILVA, P.E. REG. NO. 33381-C

PARCEL DATA:
ASSESSOR'S MAP 66, LOT 43, MAP 52, LOTS 12-17, 19-21, 23 & 32
CURRENT OWNER: 5P FORESTER REAL ESTATE TRUST
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LOTS 12-17, 19-21, 23 & 32 BK 31299, PG 186
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* OPEN SPACE COMMUNITY REGULATIONS IN PLACE AT TIME MASTER PLAN WAS FILED.
THE FLOOD INSURANCE RATE MAP IDENTIFIES THE SUBJECT PROPERTY AS BEING IN ZONE X; MAP 25023C0306K; DATED JULY 16, 2015.

REVISIONS		
DATE	DRAWN	DESCRIPTION

**DEFINITIVE SUBDIVISION
OPEN SPACE COMMUNITY DEVELOPMENT
OLDFIELD ESTATES
PHASE 2
'LOT LAYOUT'**

SITE:
ASSESSOR'S MAP 66, LOT 43
ASSESSOR'S MAP 52, LOTS 12-17,
19-21, 23 & 32
off OLDFIELD ROAD
BRIDGEWATER, MASSACHUSETTS

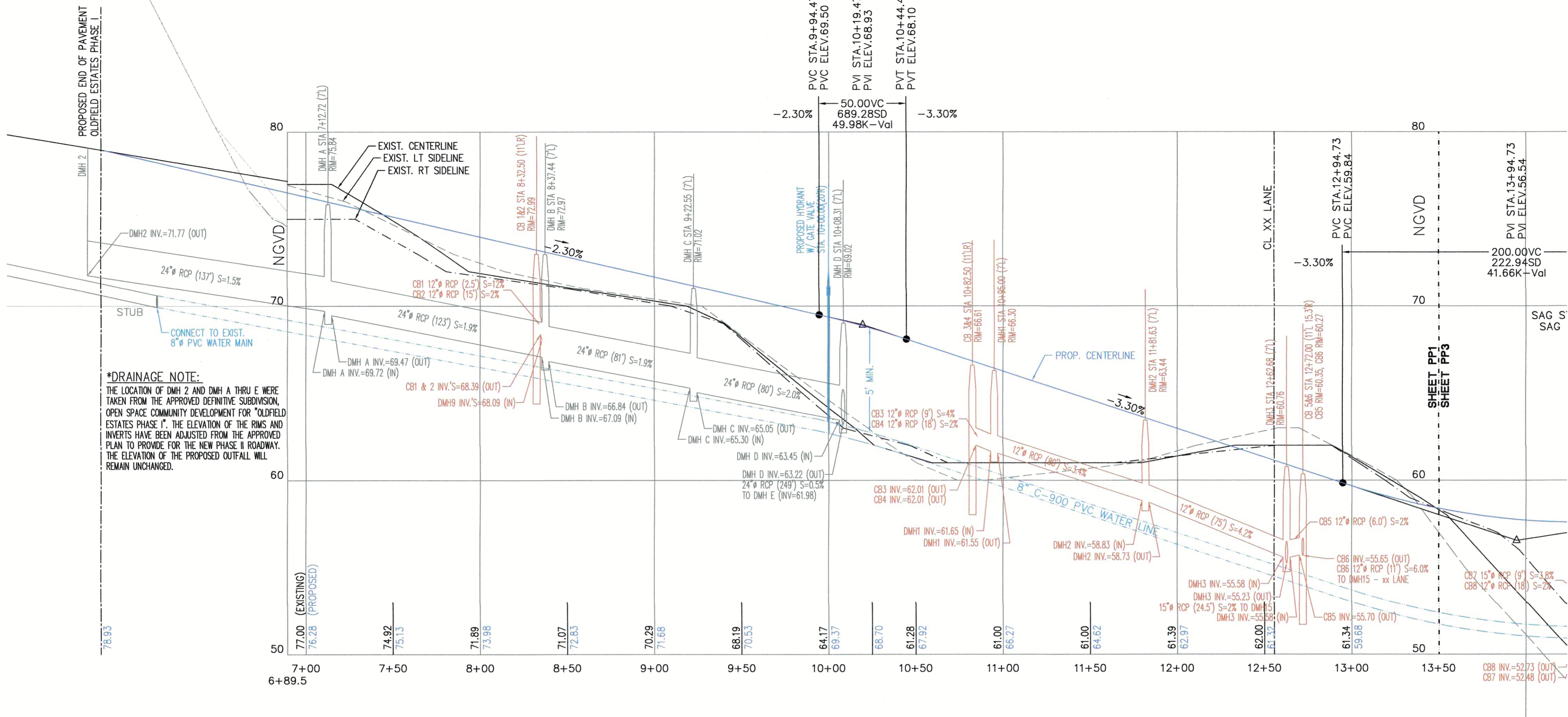
PREPARED FOR:
5P FORESTER REAL ESTATE TRUST

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CIVIL ENGINEERS, LAND SURVEYORS
& ENVIRONMENTAL CONSULTANTS
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SCALE	DRAWN	DATE	ACAD FILE	SHEET
1" = 40'	MGB	10/12/16	05056WS3	LL6

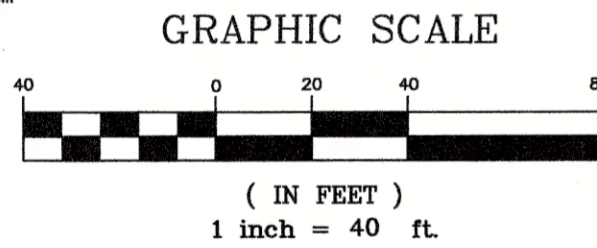
ILLEGAL DISCHARGE COMPLIANCE STATEMENT:
STORMWATER SYSTEMS IDENTIFIED ON SITE ARE FOR CONVEYING STORMWATER. STORMWATER SHALL NOT ALLOW THE ENTRY OF ANY WASTEWATER DISCHARGES INTO THE STORMWATER MANAGEMENT SYSTEM.

SNOW MAINTENANCE:
REMOVAL AND STORAGE WILL BE IN AREAS ALONG THE EDGE OF THE PAVEMENT WHERE SPACE ALLOWS. THE SNOW STORAGE AREAS DO NOT INCLUDE SEDIMENT FOREBAYS, DRAINAGE BASIN, PAVED SWALES OR IMPEDE THE FUNCTION OF OTHER DRAINAGE COMPONENTS.



***DRAINAGE NOTE:**
THE LOCATION OF DMH 2 AND DMH 3 THRU E WERE TAKEN FROM THE APPROVED DEFINITIVE SUBDIVISION, OPEN SPACE COMMUNITY DEVELOPMENT FOR 'OLDFIELD ESTATES PHASE 1'. THE ELEVATION OF THE RIMS AND INVERTS HAVE BEEN ADJUSTED FROM THE APPROVED PLAN TO PROVIDE FOR THE NEW PHASE 2 ROADWAY. THE ELEVATION OF THE PROPOSED OUTFALL WILL REMAIN UNCHANGED.

- LEGEND**
- WETLAND FLAG
 - PROPERTY LINE
 - PROPOSED CONCRETE BOUND
 - PROPOSED REBAR
 - R25' CURB RADIUS (R=25')
 - PROPOSED HANDICAP RAMP (HP)
 - PROPOSED UNDERGROUND ELECTRIC
 - PROPOSED GAS LINE
 - PROPOSED WATER LINE
 - PROPOSED HYDRANT
 - PROPOSED GATE VALVE
 - PROPOSED WATER SERVICE
 - PROPOSED CATCH BASIN (CB)
 - PROPOSED DRAIN MANHOLE (DMH)
 - EXISTING CONTOUR
 - PROPOSED SPOT GRADE
 - PROPOSED CONTOUR
 - PROPOSED POST LAMP

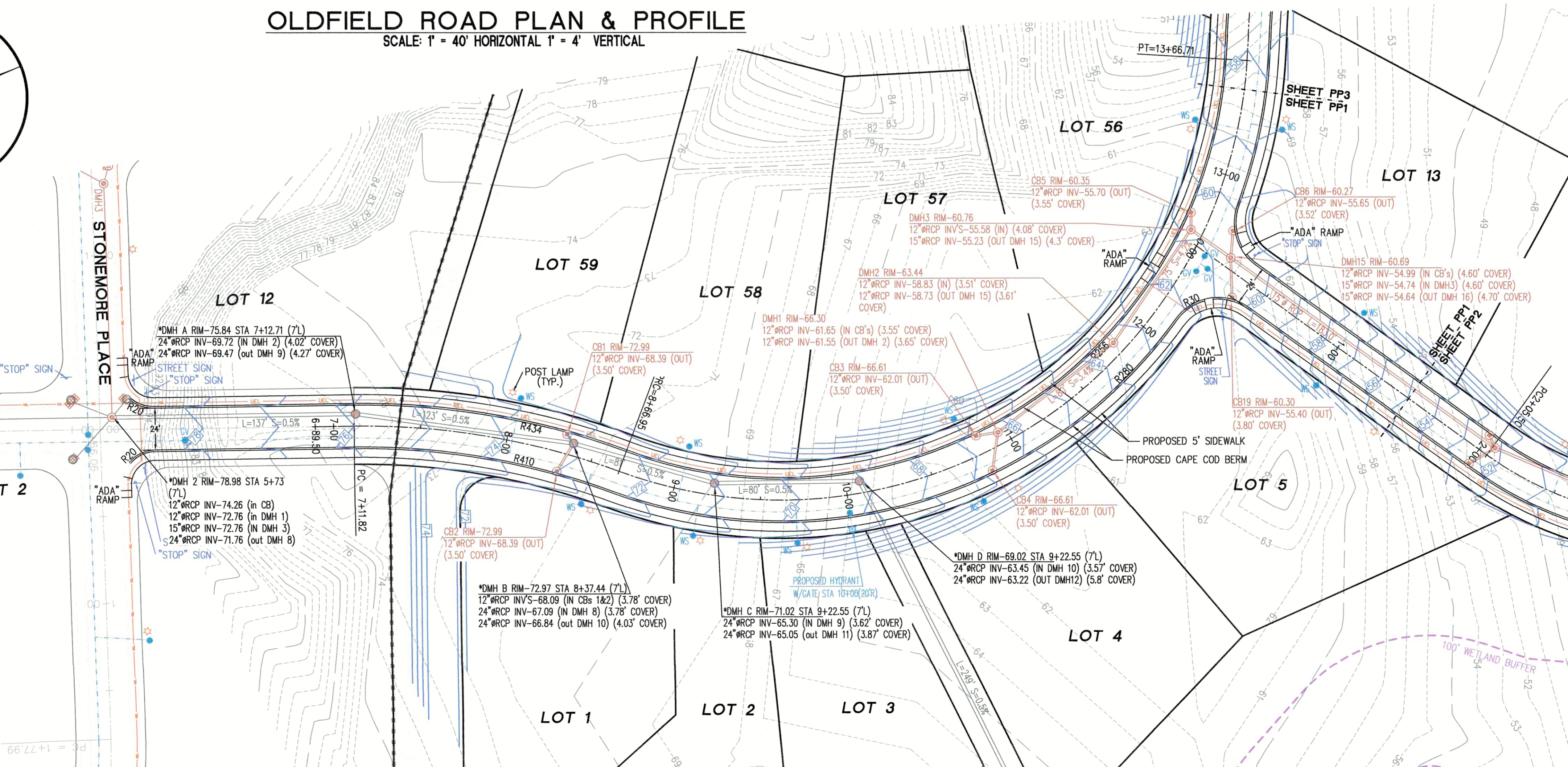


NOTES:
PLANS SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN A COVENANT, TO BE RECORDED HEREWITH.

BRIDGEWATER BOARD OF HEALTH	
DATE	
BRIDGEWATER PLANNING BOARD	
APPROVAL UNDER SECTION 81-U SUBDIVISION CONTROL LAW REQUIRED	
DATE	
I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE BRIDGEWATER PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL HAS BEEN RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT OF SAID NOTICE.	
DATE	BRIDGEWATER TOWN CLERK

OLDFIELD ROAD PLAN & PROFILE

SCALE: 1" = 40' HORIZONTAL 1" = 4' VERTICAL



FOR REGISTRY USE ONLY	
-----------------------	--

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LAWRENCE P. SILVA, P.E. REG No. 33381-C

DATE 10-12-2016

PARCEL DATA:

ASSESSOR'S MAP 66, LOT 43, MAP 52, LOTS 12-17, 19-21, 23 & 32
CURRENT OWNER: SP FORESTER REAL ESTATE TRUST
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LOTS 12-17, 19-21, 23 & 32 BK 31299, PG 186
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MIN. REAR YARD:	30 FEET	20 FEET

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THE FLOOD INSURANCE RATE MAP IDENTIFIES THE SUBJECT PROPERTY AS BEING IN ZONE X; MAP 25023C0306K; DATED JULY 16, 2015.

REVISIONS		
DATE	DRAWN	DESCRIPTION

DEFINITIVE SUBDIVISION OPEN SPACE COMMUNITY DEVELOPMENT OLDFIELD ESTATES PHASE 2

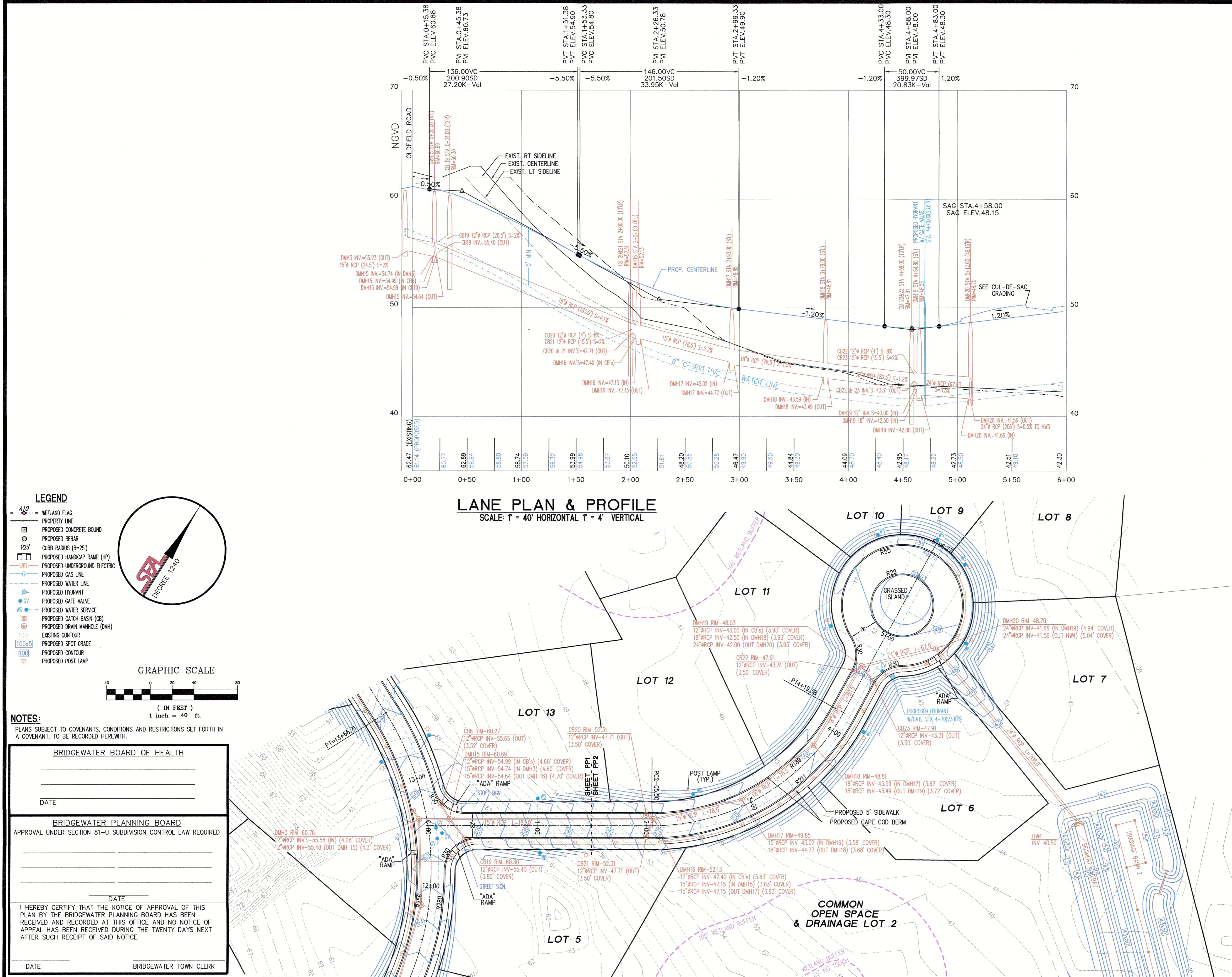
'PLAN & PROFILE'

SITE:
ASSESSOR'S MAP 66, LOT 43
ASSESSOR'S MAP 52, LOTS 12-17,
19-21, 23 & 32
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BRIDGEWATER, MASSACHUSETTS

PREPARED FOR:
SP FORESTER REAL ESTATE TRUST

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SCALE	DRAWN	DATE	ACAD FILE	SHEET
1" = 40'	MCB	10/12/16	05056WS3	PP1



FOR REGISTRY USE ONLY

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DATE	DRAWN	DESCRIPTION

DEFINITIVE SUBDIVISION
OPEN SPACE COMMUNITY DEVELOPMENT
OLDFIELD ESTATES
PHASE 2

'PLAN & PROFILE'

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BRIDGEWATER, MASSACHUSETTS

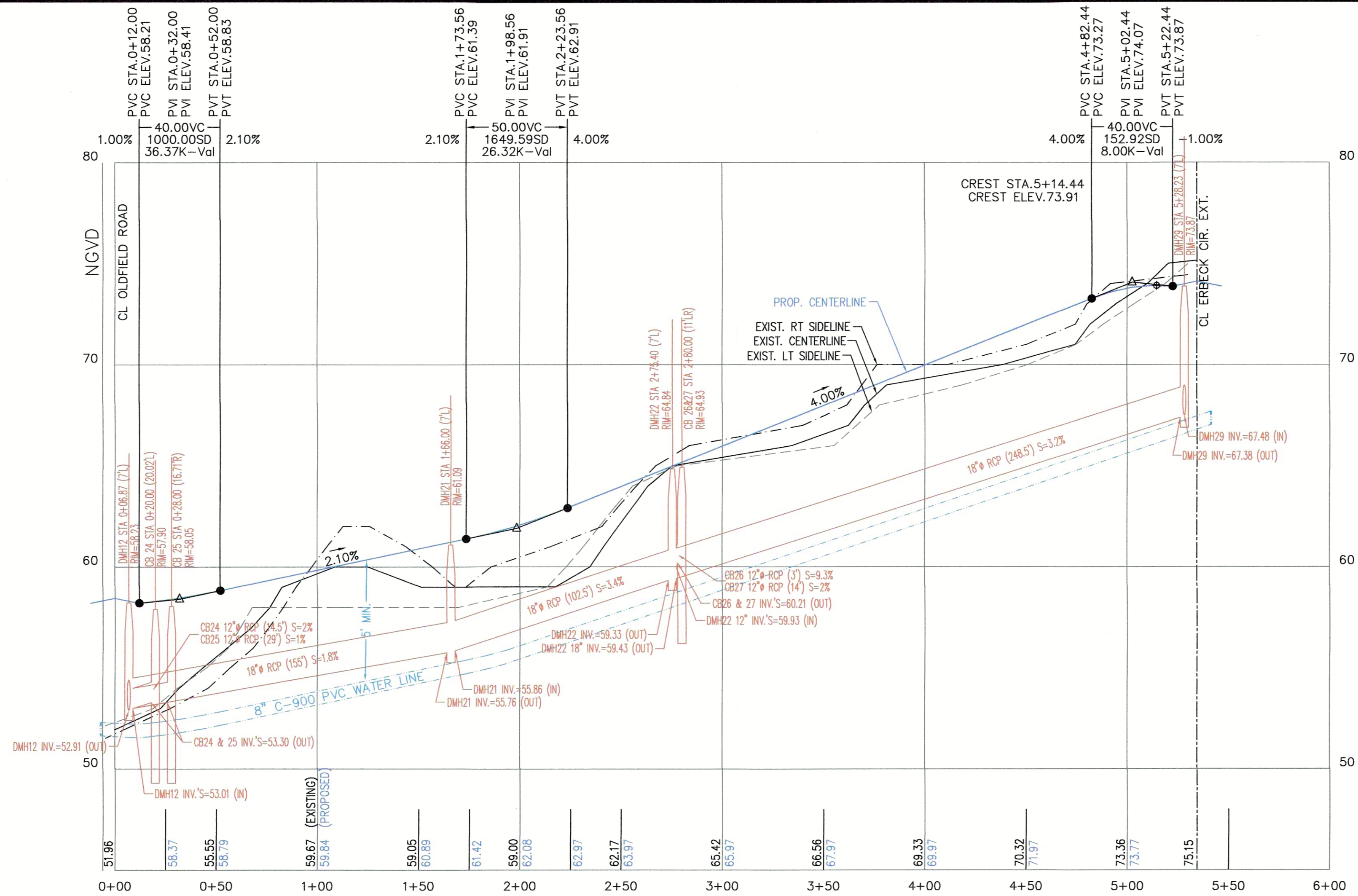
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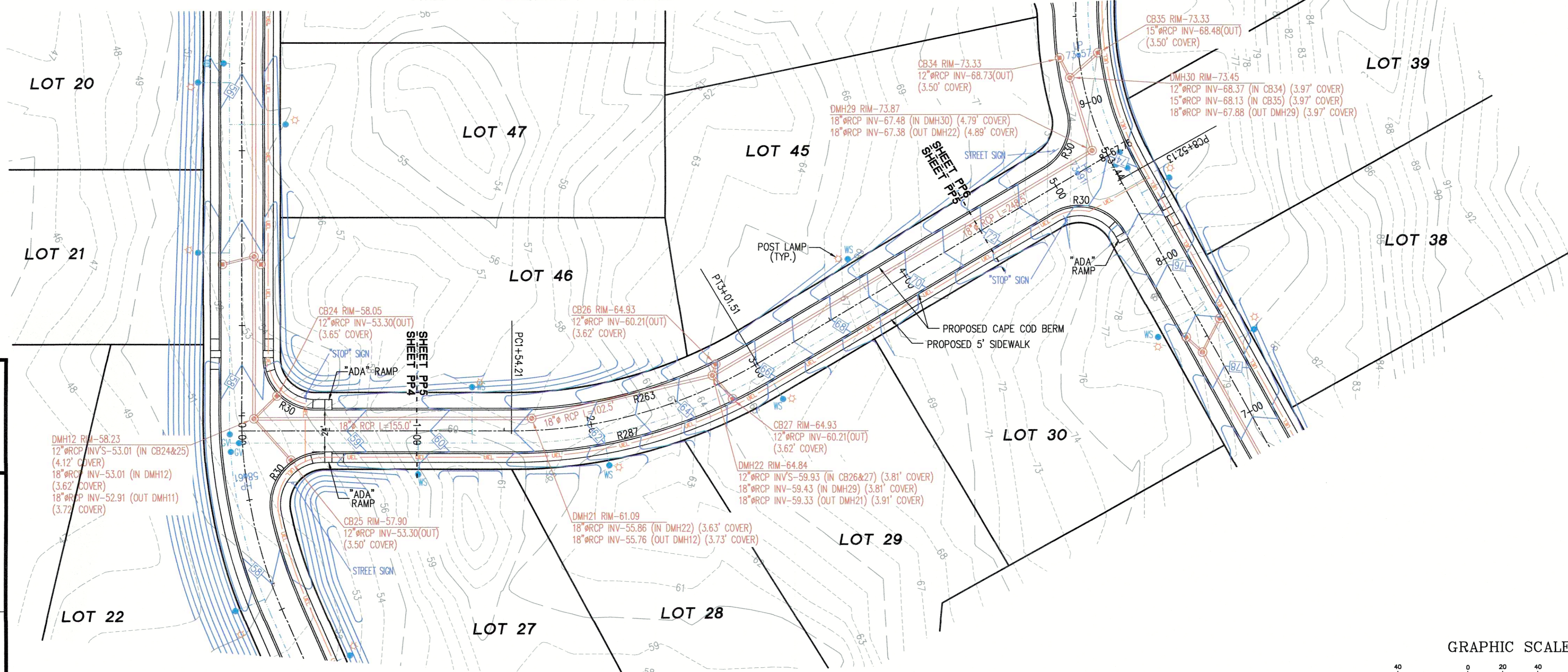
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SCALE	DRAWN	DATE	ACAD FILE	SHEET
1"= 40'	MGB	10/12/16	05056WS3	PP2

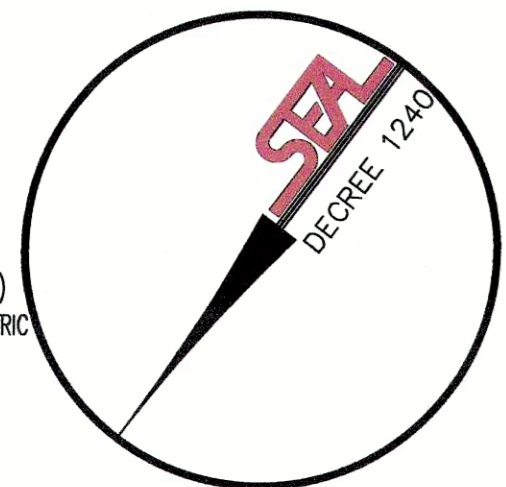


TIMBER LANE PLAN & PROFILE
SCALE: 1" = 40' HORIZONTAL 1" = 4' VERTICAL



LEGEND

- WETLAND FLAG
- PROPERTY LINE
- PROPOSED CONCRETE BOUND
- PROPOSED REBAR
- CURB RADIUS (R=25')
- PROPOSED HANDICAP RAMP (HP)
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- PROPOSED GAS LINE
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- PROPOSED WATER SERVICE
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- PROPOSED DRAIN MANHOLE (DMH)
- EXISTING CONTOUR
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- PROPOSED CONTOUR
- PROPOSED POST LAMP



NOTES:

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BRIDGEWATER BOARD OF HEALTH

DATE

BRIDGEWATER PLANNING BOARD

APPROVAL UNDER SECTION 81-U SUBDIVISION CONTROL LAW REQUIRED

DATE

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DATE

BRIDGEWATER TOWN CLERK

FOR REGISTRY USE ONLY

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LAWRENCE P. SILVA, P.E. REG No. 33381-C

DATE 10-12-2016

PARCEL DATA:

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REVISIONS

DATE	DRAWN	DESCRIPTION

**DEFINITIVE SUBDIVISION
OPEN SPACE COMMUNITY DEVELOPMENT
OLDFIELD ESTATES
PHASE 2**

'PLAN & PROFILE'

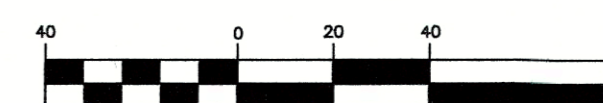
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ASSESSOR'S MAP 66, LOT 43
ASSESSOR'S MAP 52, LOTS 12-17,
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BRIDGEWATER, MASSACHUSETTS

PREPARED FOR:
SP FORESTER REAL ESTATE TRUST

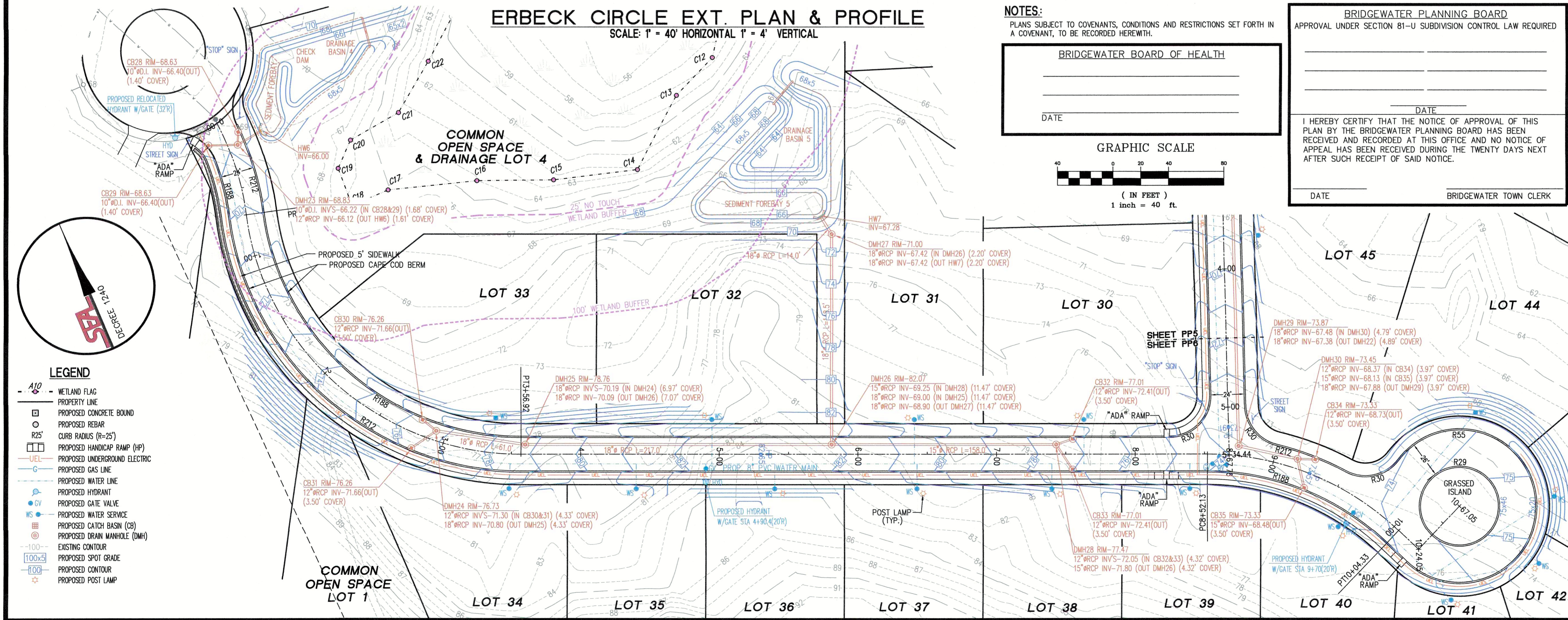
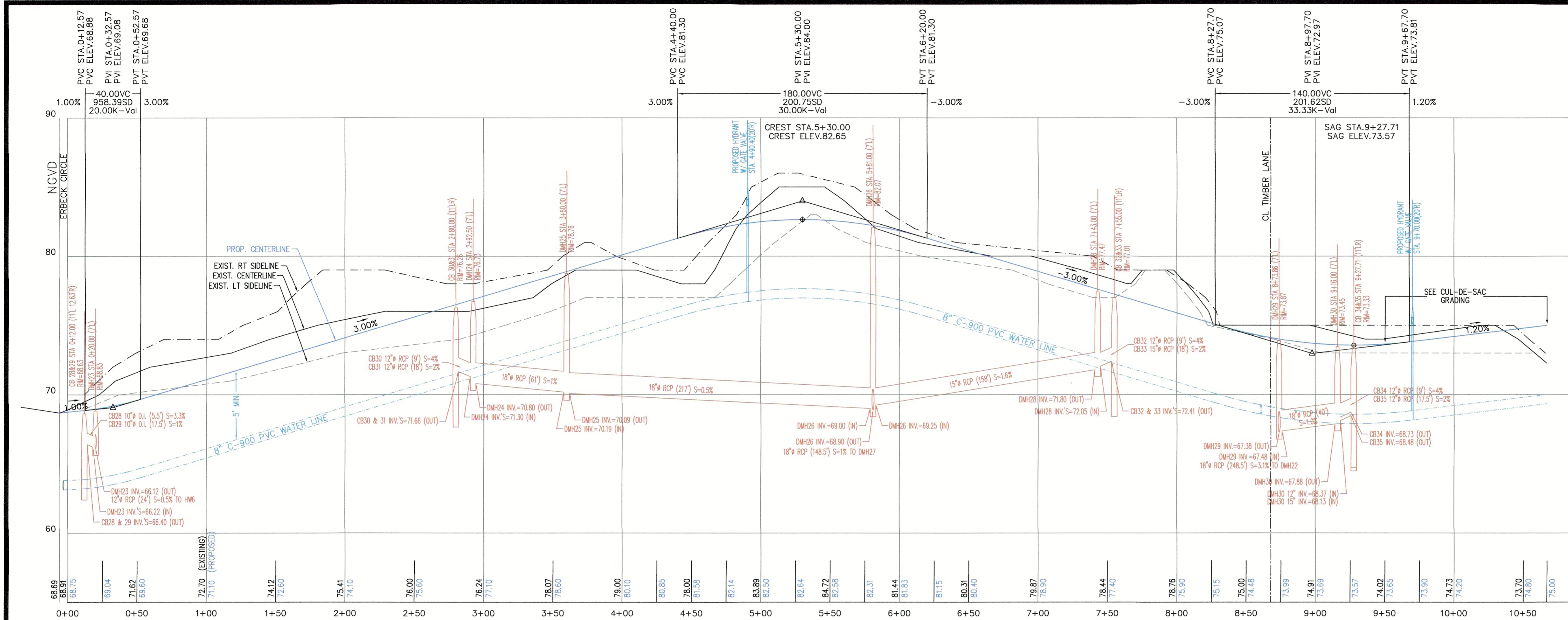
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SCALE	DRAWN	DATE	ACAD FILE	SHEET
1" = 40'	MGB	10/12/16	05056WS3	PP5

GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.



FOR REGISTRY USE ONLY

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LAWRENCE P. SILVA, P.E. REG No. 33381-C

DATE 10-12-2016

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REVISIONS		
DATE	DRAWN	DESCRIPTION

DEFINITIVE SUBDIVISION
OPEN SPACE COMMUNITY DEVELOPMENT
OLDFIELD ESTATES
PHASE 2

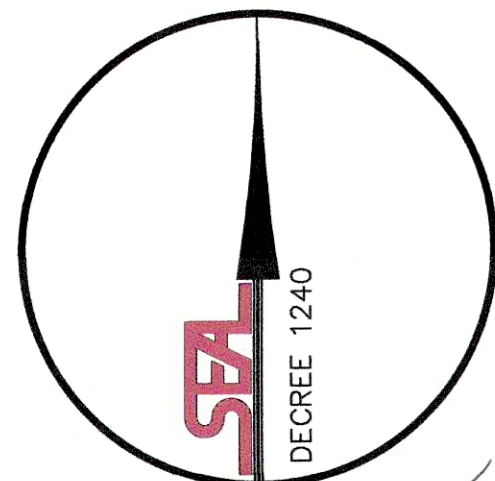
'PLAN & PROFILE'

SITE:
ASSESSOR'S MAP 66, LOT 43
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PREPARED FOR:
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SCALE	DRAWN	DATE	ACAD FILE	SHEET
1" = 40'	MGB	10/12/16	05056WS3	PP6



SEE GRADING PLAN SHEET GR3

SEE GRADING PLAN SHEET GR2

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LAWRENCE P. SILVA, P.E. REG No. 33381-C

10-12-2016

DATE

PARCEL DATA:

ASSESSOR'S MAP 66, LOT 43, MAP 52, LOTS 12-17, 19-21, 23 & 32
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LOTS 12-17, 19-21, 23 & 32 BK 31299, PG 186

TOTAL AREA: 72.9 Acres

ZONING REFERENCE: RESIDENTIAL A/B OPEN SPACE COMMUNITY*

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THE FLOOD INSURANCE RATE MAP IDENTIFIES THE SUBJECT PROPERTY AS BEING IN ZONE X; MAP 25023C0306K; DATED JULY 16, 2015.

REVISIONS

DATE	DRAWN	DESCRIPTION

DEFINITIVE SUBDIVISION
OPEN SPACE COMMUNITY DEVELOPMENT
OLDFIELD ESTATES
PHASE 2

'GRADING PLAN'

SITE:
ASSESSOR'S MAP 66, LOT 43
ASSESSOR'S MAP 52, LOTS 12-17,
19-21, 23 & 32
off OLDFIELD ROAD
BRIDGEWATER, MASSACHUSETTS

PREPARED FOR:
5P FORESTER REAL ESTATE TRUST

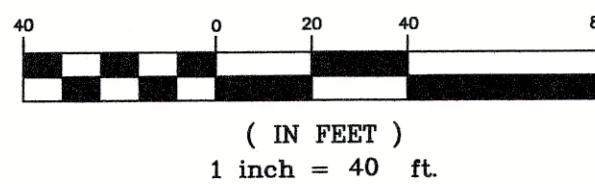
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BRIDGEWATER, MA 02324
PHONE (508) 697-3100 FAX (508) 697-3136
www.silvaeng.com

SCALE	DRAWN	DATE	ACAD FILE	SHEET
1" = 40'	MGB	10/12/16	05056WS3	GR1

LEGEND

- WETLAND FLAG
- PROPERTY LINE
- PROPOSED HANDICAP RAMP (HP)
- PROPOSED HYDRANT
- PROPOSED CATCH BASIN (CB)
- PROPOSED DRAIN MANHOLE (DMH)
- PROPOSED DRAIN MANHOLE (DMH)
- EXISTING CONTOUR
- PROPOSED SITE GRADING
- EXISTING TREELINE
- PROPOSED STREET TREE
- PROPOSED TREELINE

GRAPHIC SCALE



NOTES:

PLANS SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN A COVENANT, TO BE RECORDED HERewith.

BRIDGEWATER BOARD OF HEALTH

DATE

BRIDGEWATER PLANNING BOARD

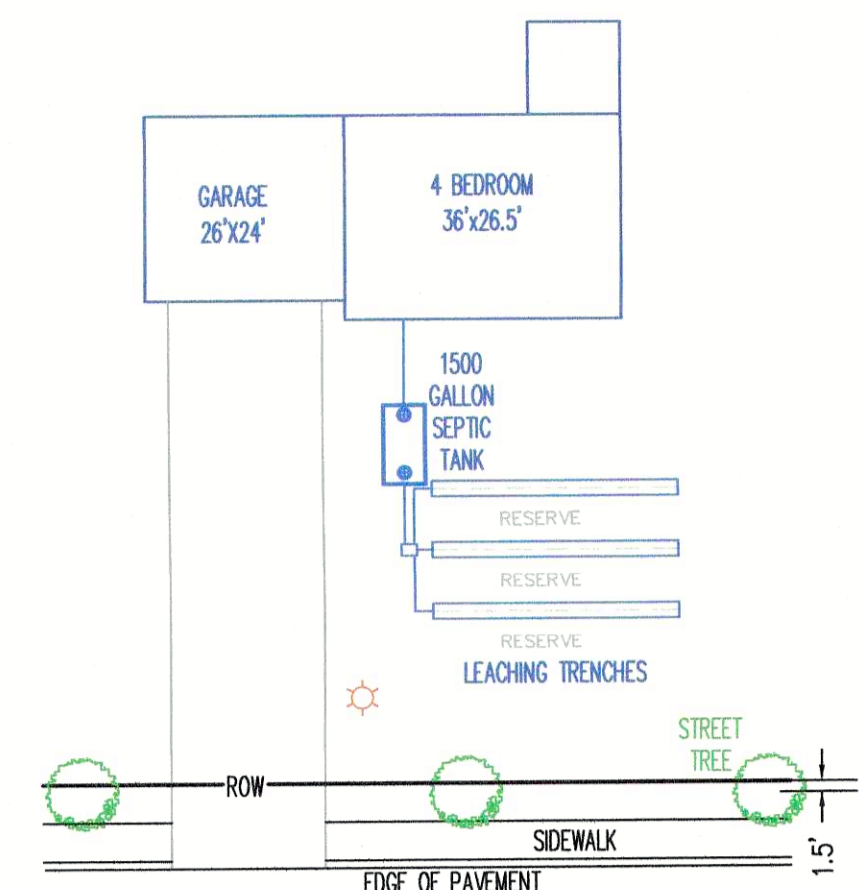
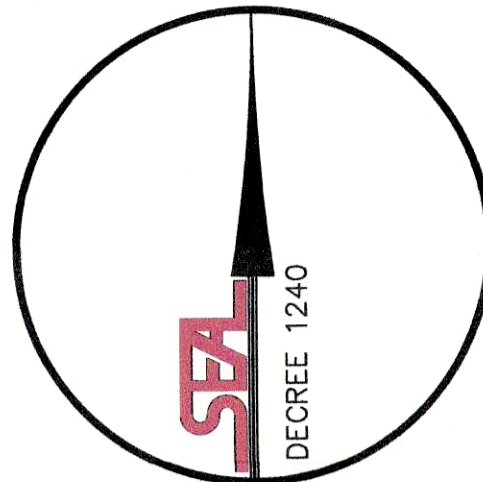
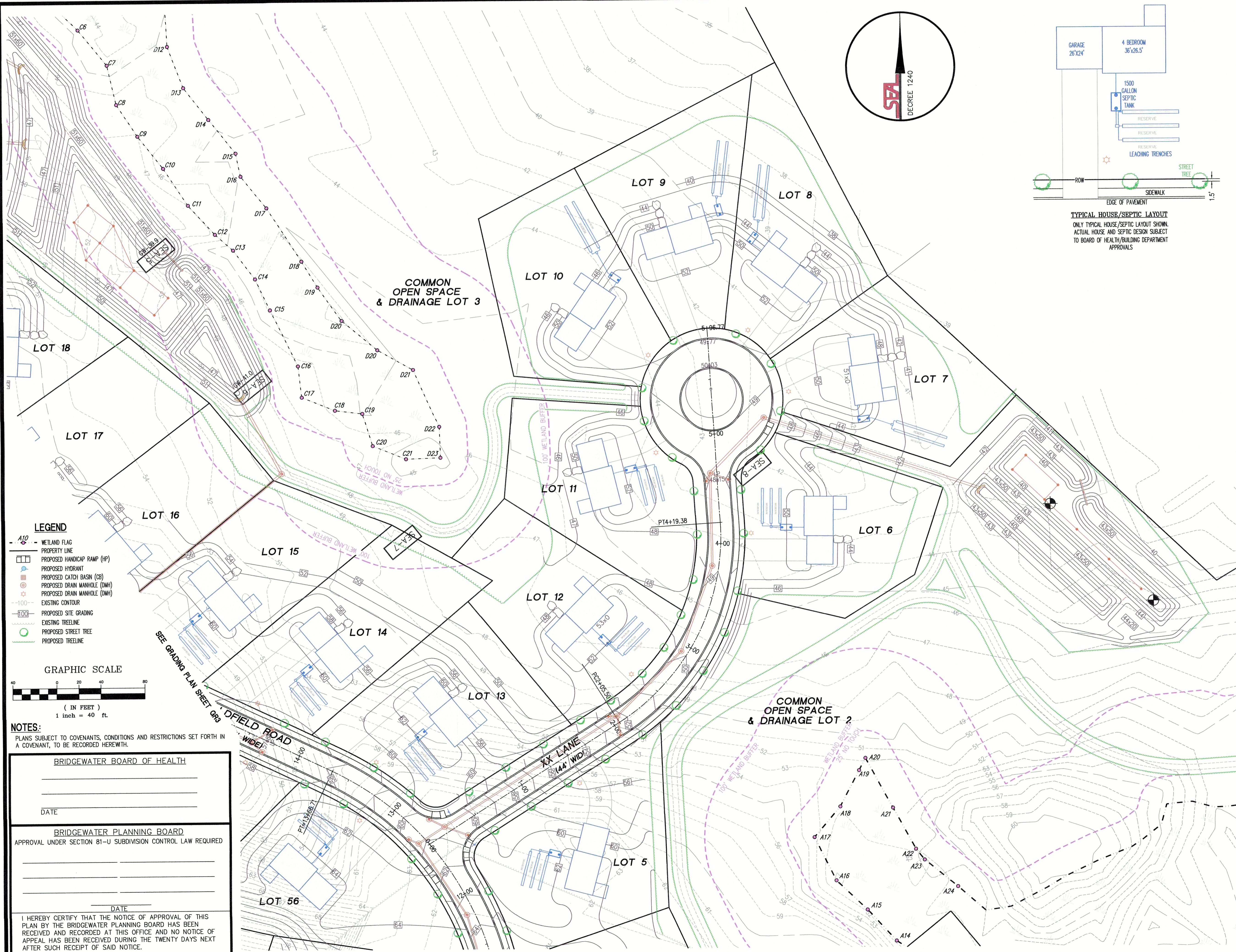
APPROVAL UNDER SECTION 81-U SUBDIVISION CONTROL LAW REQUIRED

DATE

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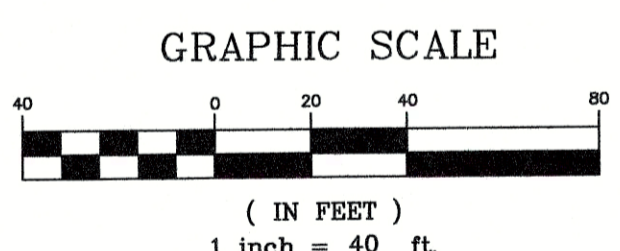
DATE

BRIDGEWATER TOWN CLERK



TYPICAL HOUSE/SEPTIC LAYOUT
ONLY TYPICAL HOUSE/SEPTIC LAYOUT SHOWN.
ACTUAL HOUSE AND SEPTIC DESIGN SUBJECT
TO BOARD OF HEALTH/BUILDING DEPARTMENT
APPROVALS

- LEGEND**
- WETLAND FLAG
 - PROPERTY LINE
 - PROPOSED HANDICAP RAMP (HP)
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BRIDGEWATER TOWN CLERK

FOR REGISTRY USE ONLY

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CONFORMS WITH ALL APPLICABLE RULES AND REGULATIONS
ESTABLISHED HEREIN WITH EXCEPTIONS SPECIFICALLY NOTED ON THE
PLAN.

LAWRENCE P. SILVA, P.E. REG No. 33381-C

DATE 10-12-2016

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REVISIONS		
DATE	DRAWN	DESCRIPTION

**DEFINITIVE SUBDIVISION
OPEN SPACE COMMUNITY DEVELOPMENT
OLDFIELD ESTATES
PHASE 2**

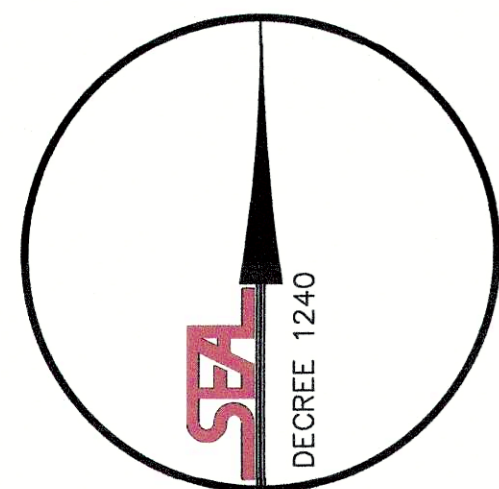
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PREPARED FOR:
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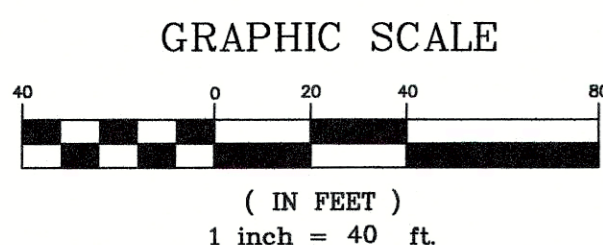
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SCALE	DRAWN	DATE	ACAD FILE	SHEET
1"= 40'	MCB	10/12/16	05056WS3	GR2



LEGEND

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BRIDGEWATER PLANNING BOARD

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BRIDGEWATER TOWN CLERK

SEE GRADING PLAN SHEET GR4

SEE GRADING PLAN SHEET GR5

SEE GRADING PLAN SHEET GR1

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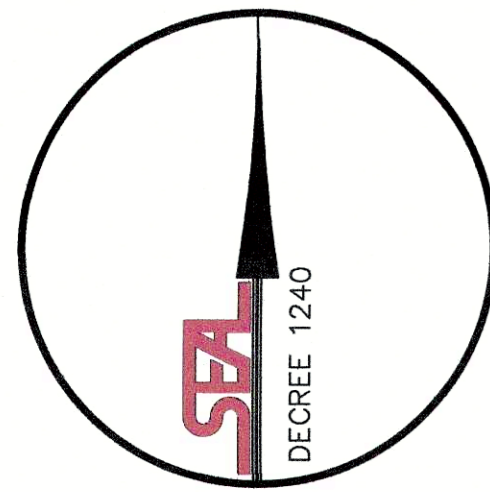
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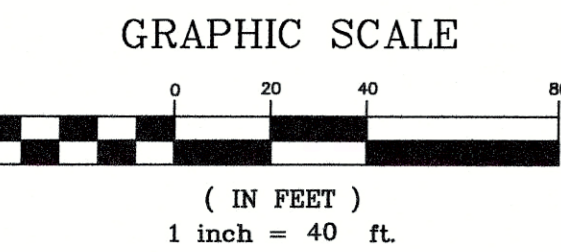
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LEGEND

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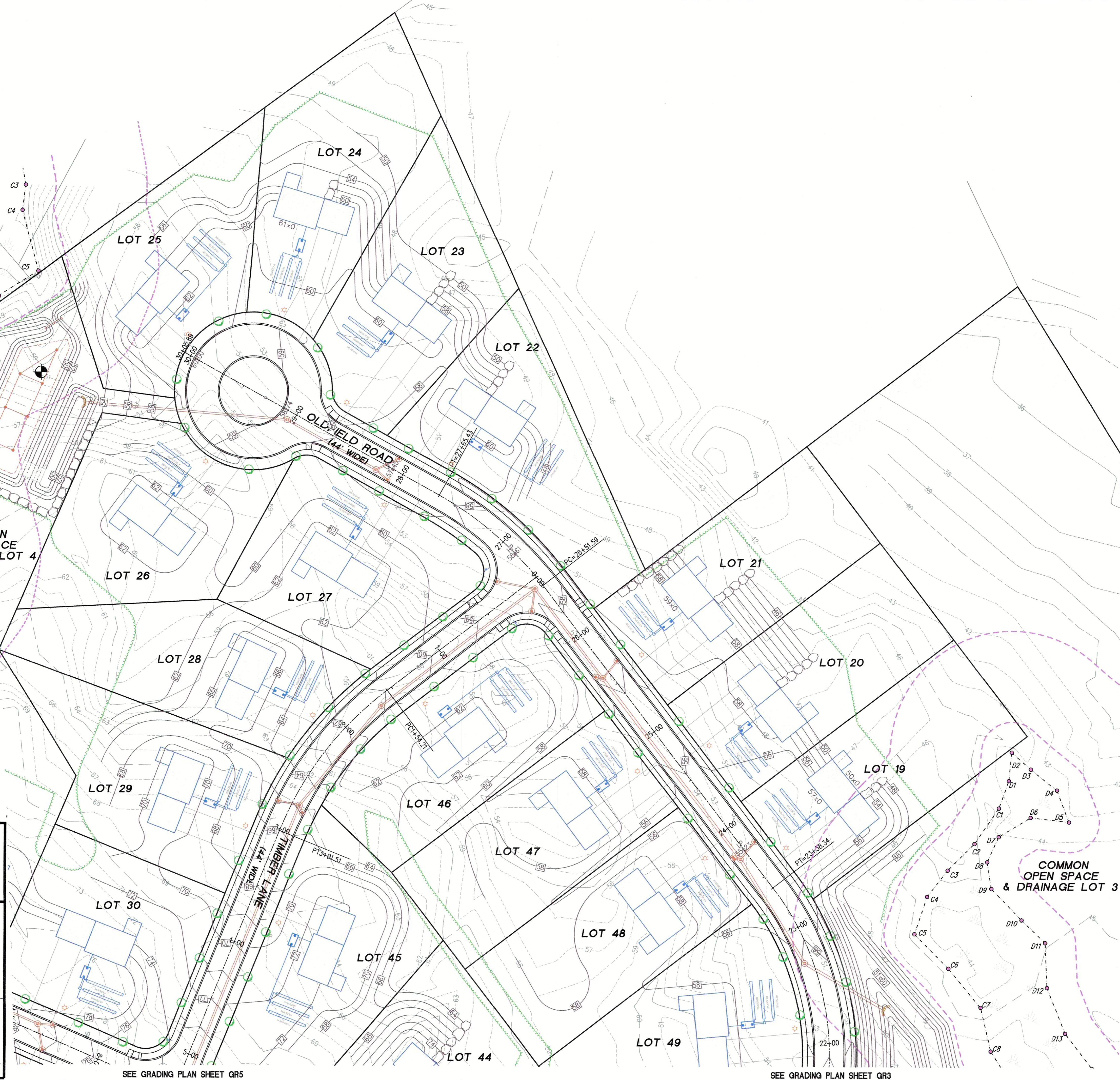
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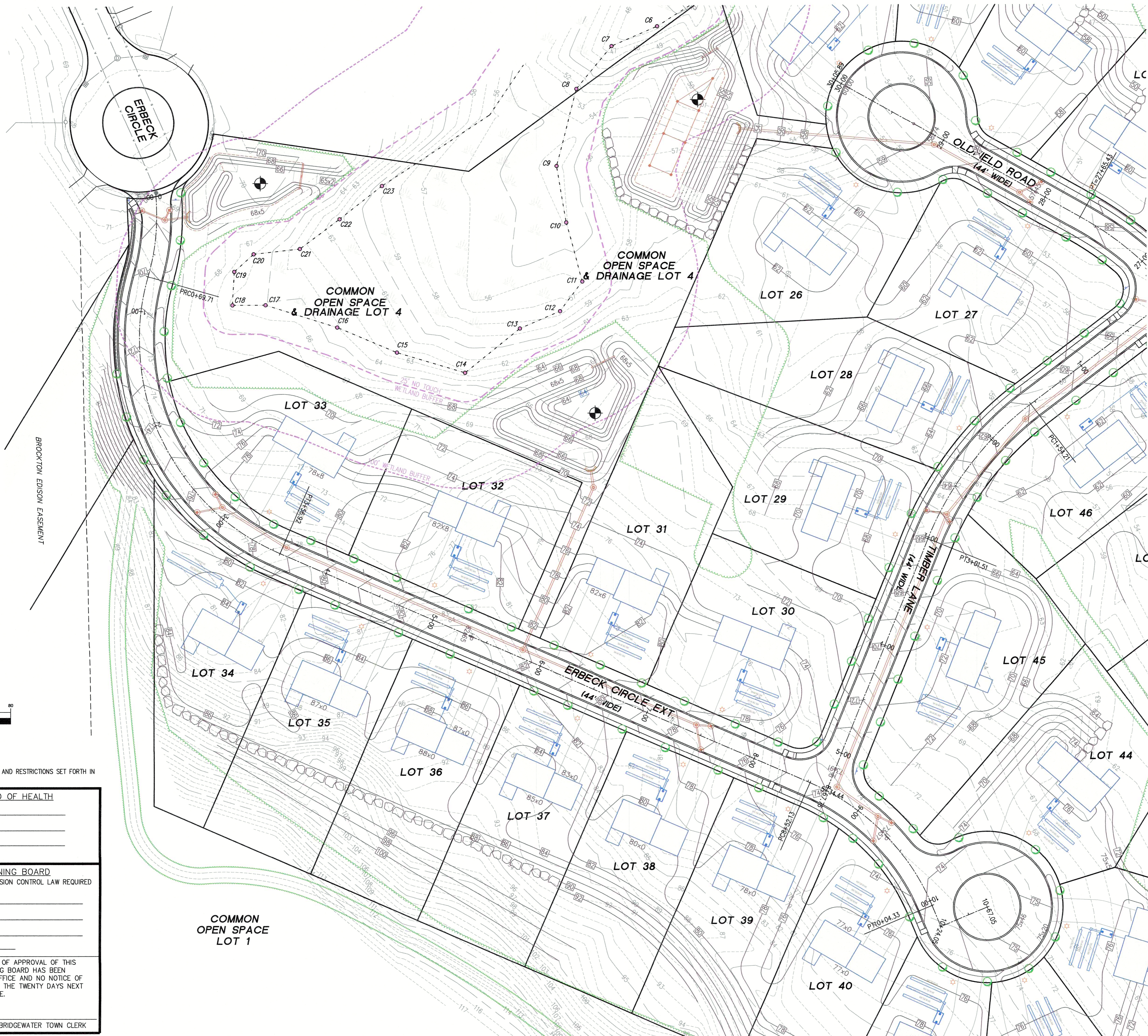
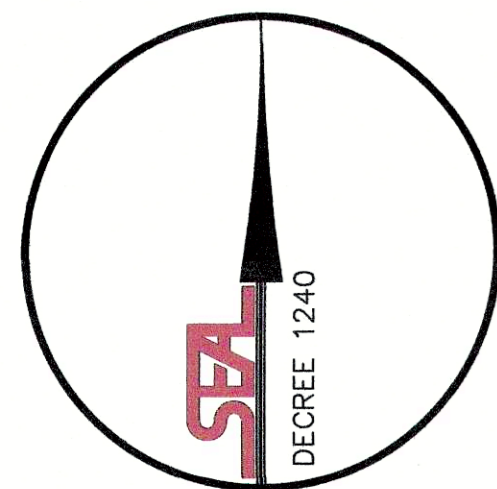
DATE

BRIDGEWATER TOWN CLERK



SEE GRADING PLAN SHEET GR5

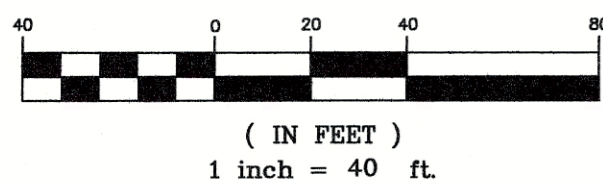
SEE GRADING PLAN SHEET GR3



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PHASE 2

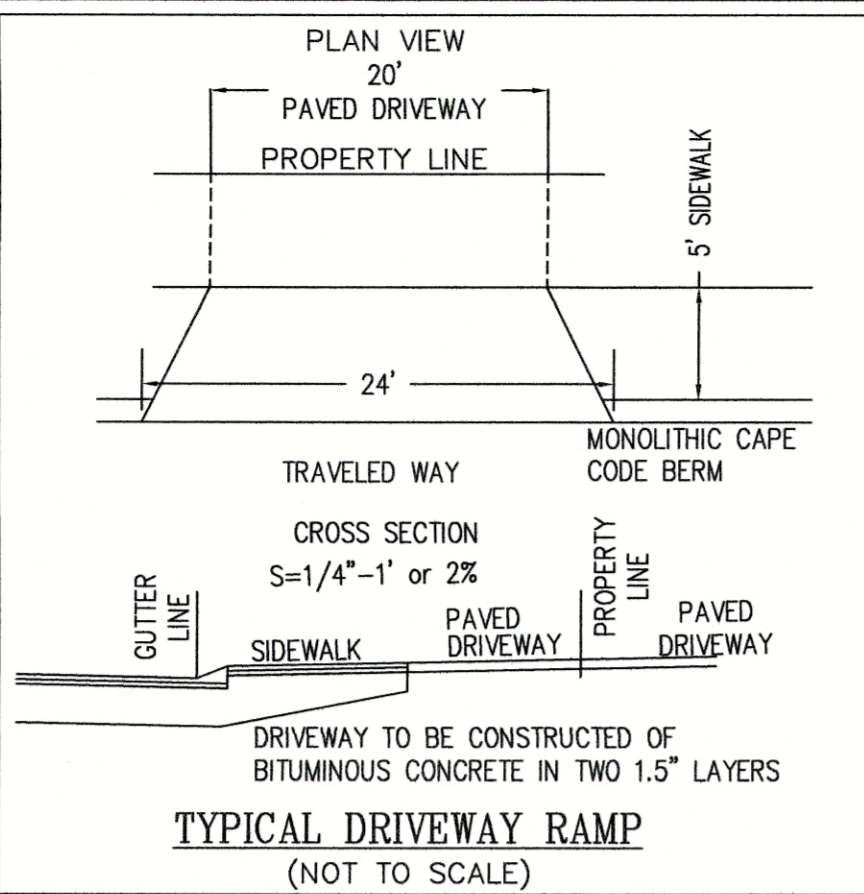
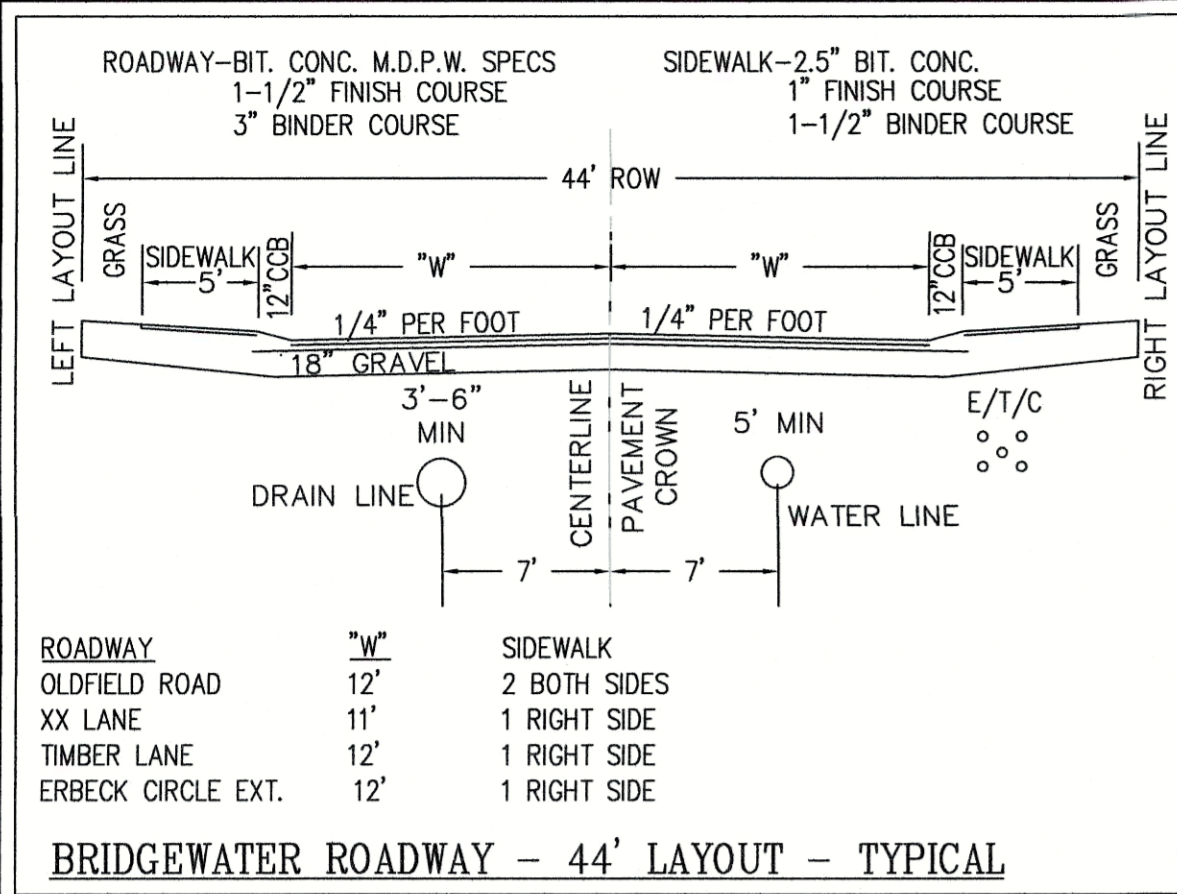
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CONSTRUCTION NOTES:

1. FIVE FOOT (5') SIDEWALKS.
2. FIVE FOOT (5') MINIMUM COVER OVER WATER LINES.
3. TEN FOOT (10') SEPARATION MINIMUM BETWEEN WATER AND SEWER SERVICES.
4. CONNECTION TO EXISTING WATER MAIN TO BE CONSTRUCTED IN ACCORDANCE WITH ALL REQUIREMENTS OF THE TOWN OF BRIDGEWATER WATER DEPARTMENT.
5. CELLAR DRAINS SHALL NOT BE CONNECTED TO THE PUBLIC DRAIN SYSTEM.
6. ELECTRIC AND TELEPHONE CONNECTION / EXTENSION TO BE CONSTRUCTED IN ACCORDANCE WITH ALL REQUIREMENTS OF LOCAL UTILITY COMPANIES.
7. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY DISSAFE AND ALL UTILITY COMPANIES, AGENCIES, INFORMATION SERVICES DEPARTMENTS PRIOR TO CONSTRUCTION FOR THE LOCATION OF ALL UNDERGROUND UTILITIES.
8. ALL UTILITIES TO BE INSTALLED / CONSTRUCTED IN ACCORDANCE WITH ALL REQUIREMENTS OF THE TOWN OF BRIDGEWATER RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, IN THE EVENT OF ANY QUESTION AS TO CONSTRUCTION DETAILS SPECIFICATIONS FOR THE COMPOSITION OF MATERIAL, WORKMANSHIP AND THE METHOD OF APPLYING MATERIALS THE STANDARDS OF THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS SHALL APPLY IN EACH INSTANCE.

MATERIALS:

ROAD AND CURB BASE: HARD, DURABLE STONE AND COARSE SAND FREE FROM ORGANIC MATERIALS, CLAY, SURFACE COATINGS, DELETERIOUS MATERIALS AND UNFORMALLY GRADED WITHIN THE FOLLOWING:

FINISHED BASE	
SIEVE:	% PASSING BY WEIGHT
3 INCH	100
1/2 INCH	50-85
NO 4	50-75
NO 40	10-35
200	0-10

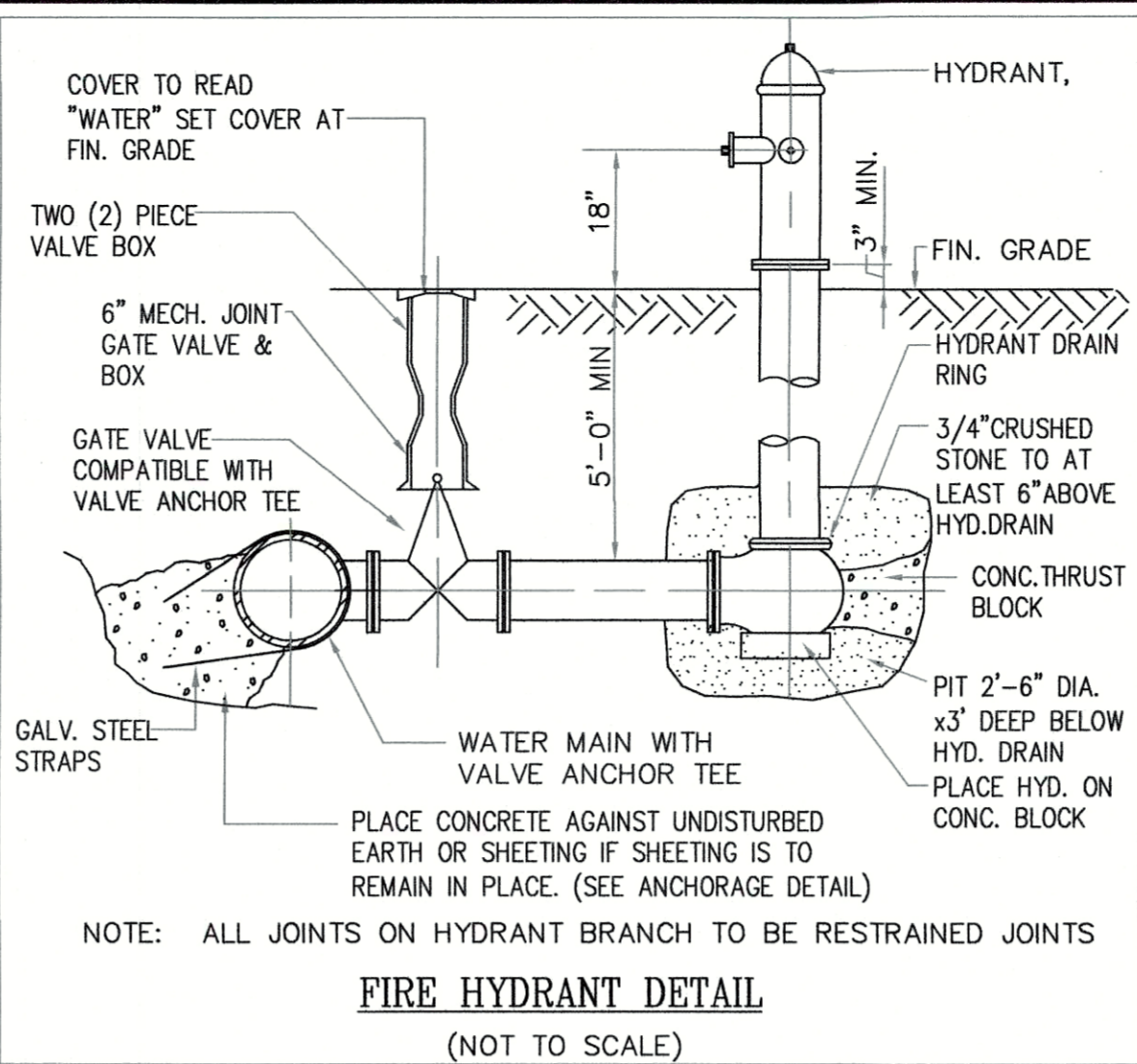


TABLE OF BEARING AREAS IN SQUARE FEET AGAINST UNDISTURBED MATERIAL FOR FITTING.

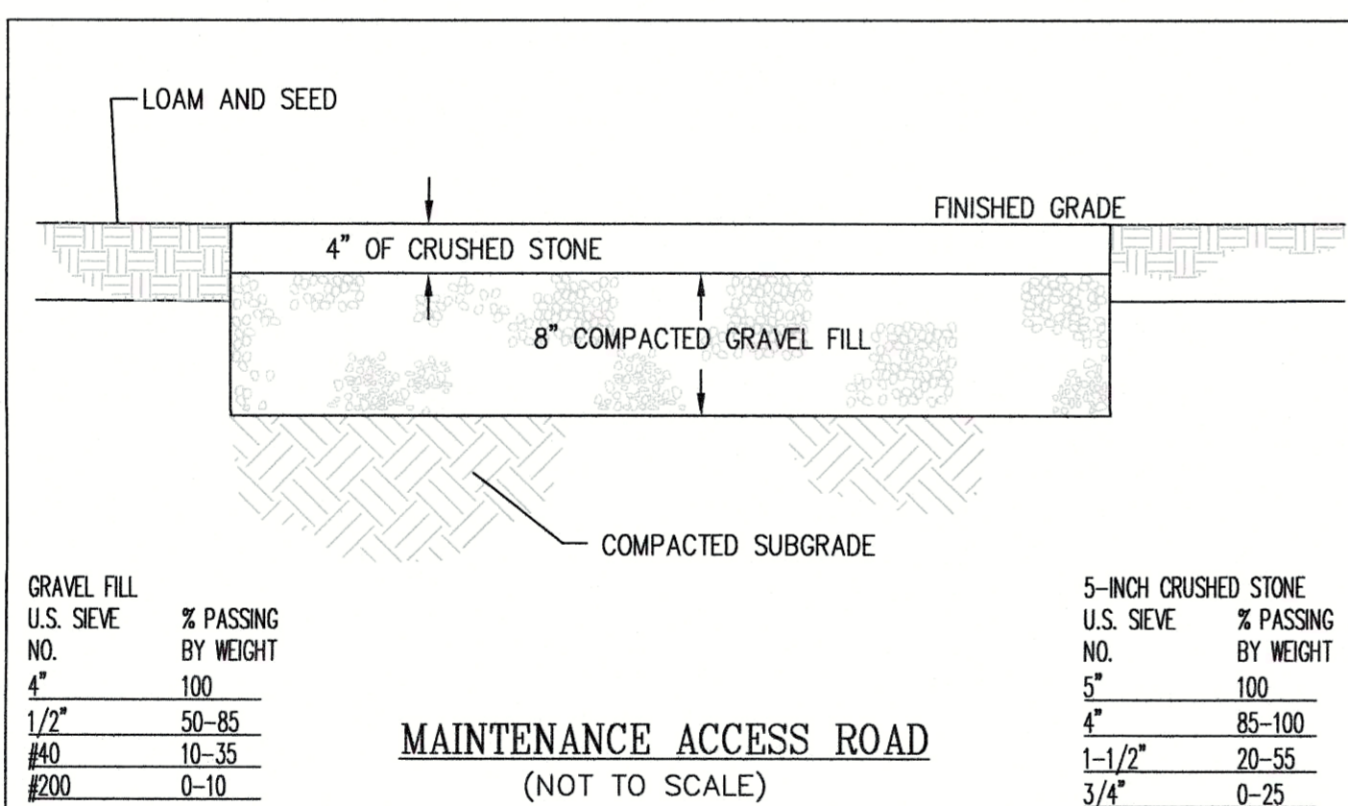
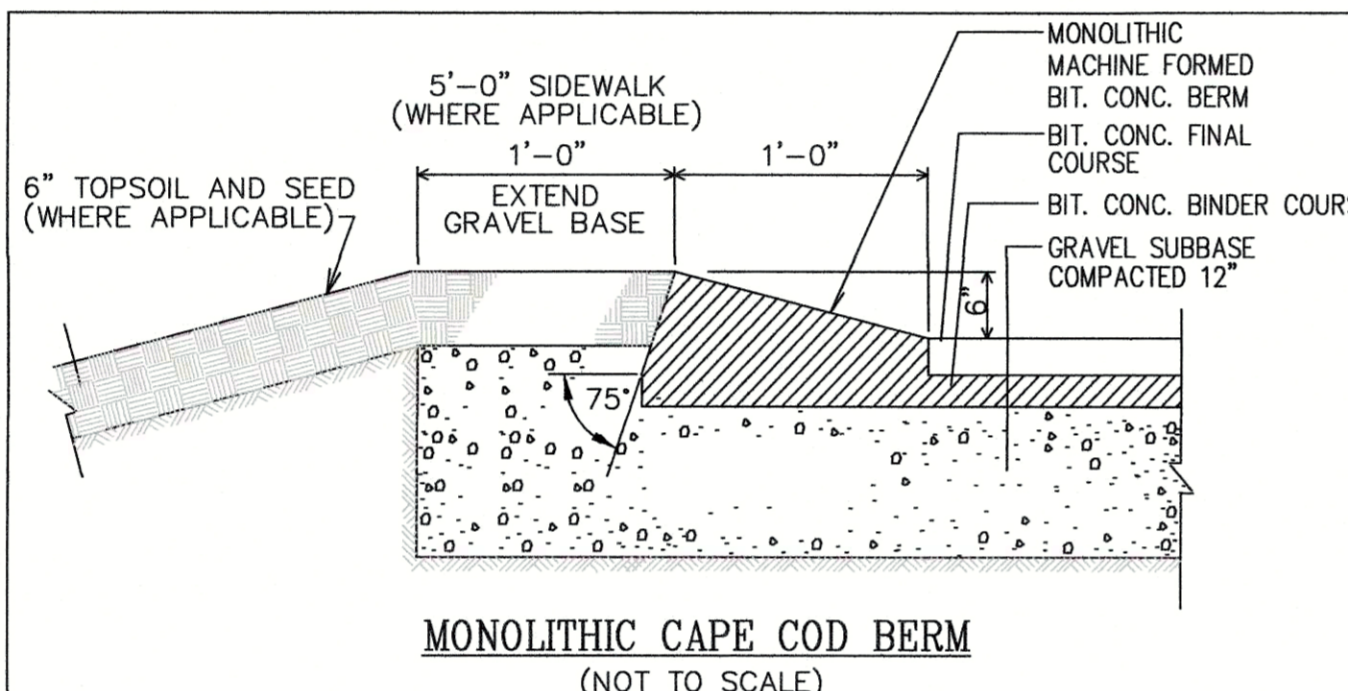
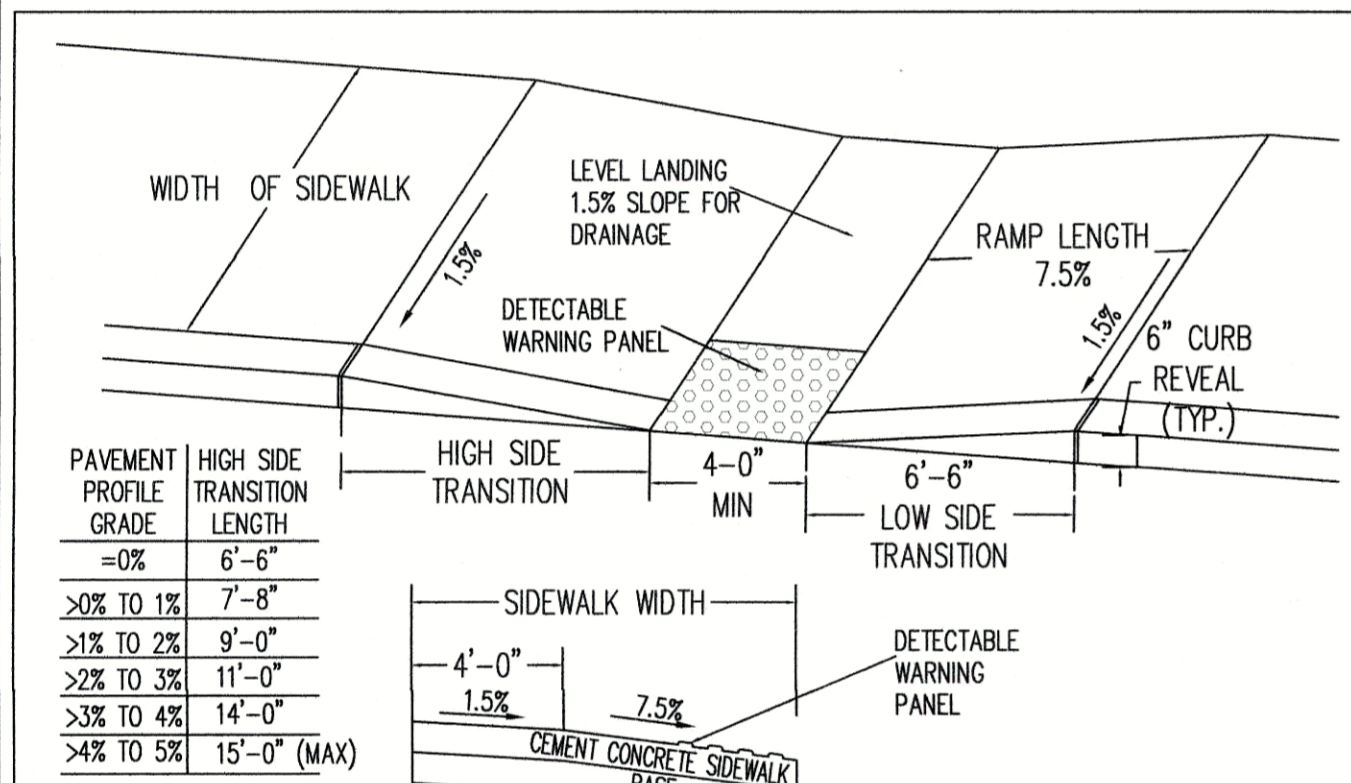
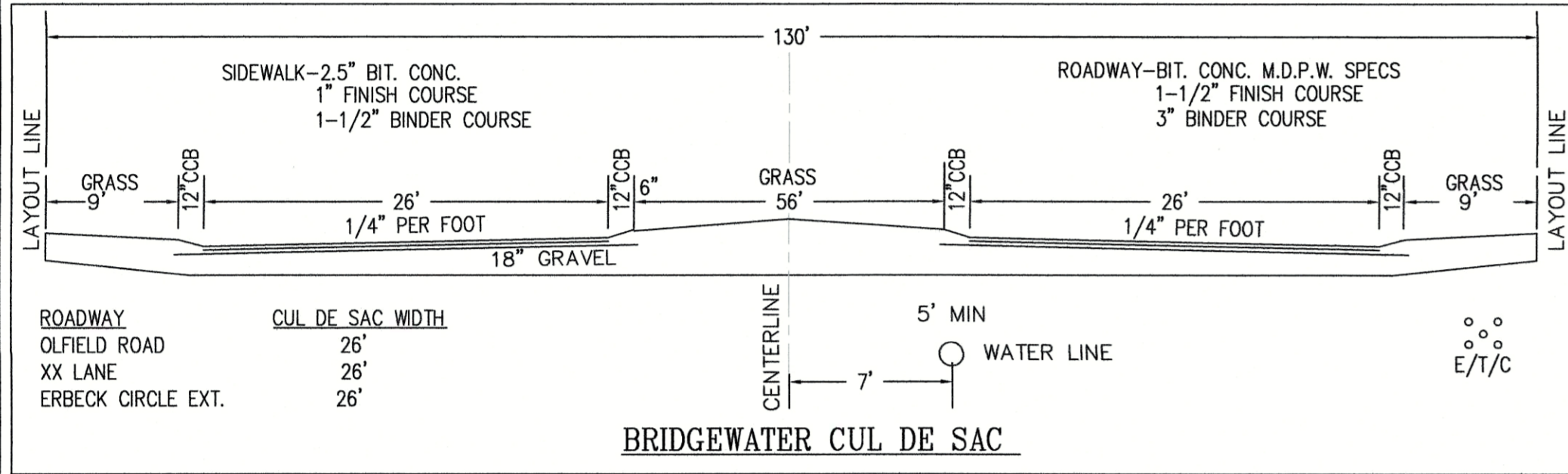
SIZE OF MAIN (INCHES)	90° BEND (S.F.)	45° BEND (S.F.)	DEAD END (S.F.)
4	2.3	1.3	1.6
6	4.7	2.5	3.3
8	8.0	4.5	6.0
12	17.0	9.5	12.0

- NOTES:
1. FOR FITTINGS WITH LESS THAN 45° DEFLECTION USE BEARING AREAS FOR 45° BEND.
 2. BEARING AREAS BASED ON HORIZONTAL PASSIVE SOIL PRESSURE OF 2000 PSF AND A MINIMUM INTERNAL WATER PRESSURE OF 175 PSIG. JOINTS SHALL NOT BE ENCASED IN CONCRETE. BEARING AREAS MAY BE DISREGARDED FOR TRENCHES IN ROCK WHERE THE TOP OF THE ROCK FACE IS AT OR ABOVE THE CROWN OF THE PIPE. HOWEVER, CONCRETE BACKING SHALL BE PLACED BETWEEN THE PIPE AND ROCK FACE.

THRUST BLOCK BEARING AREAS FOR PIPE

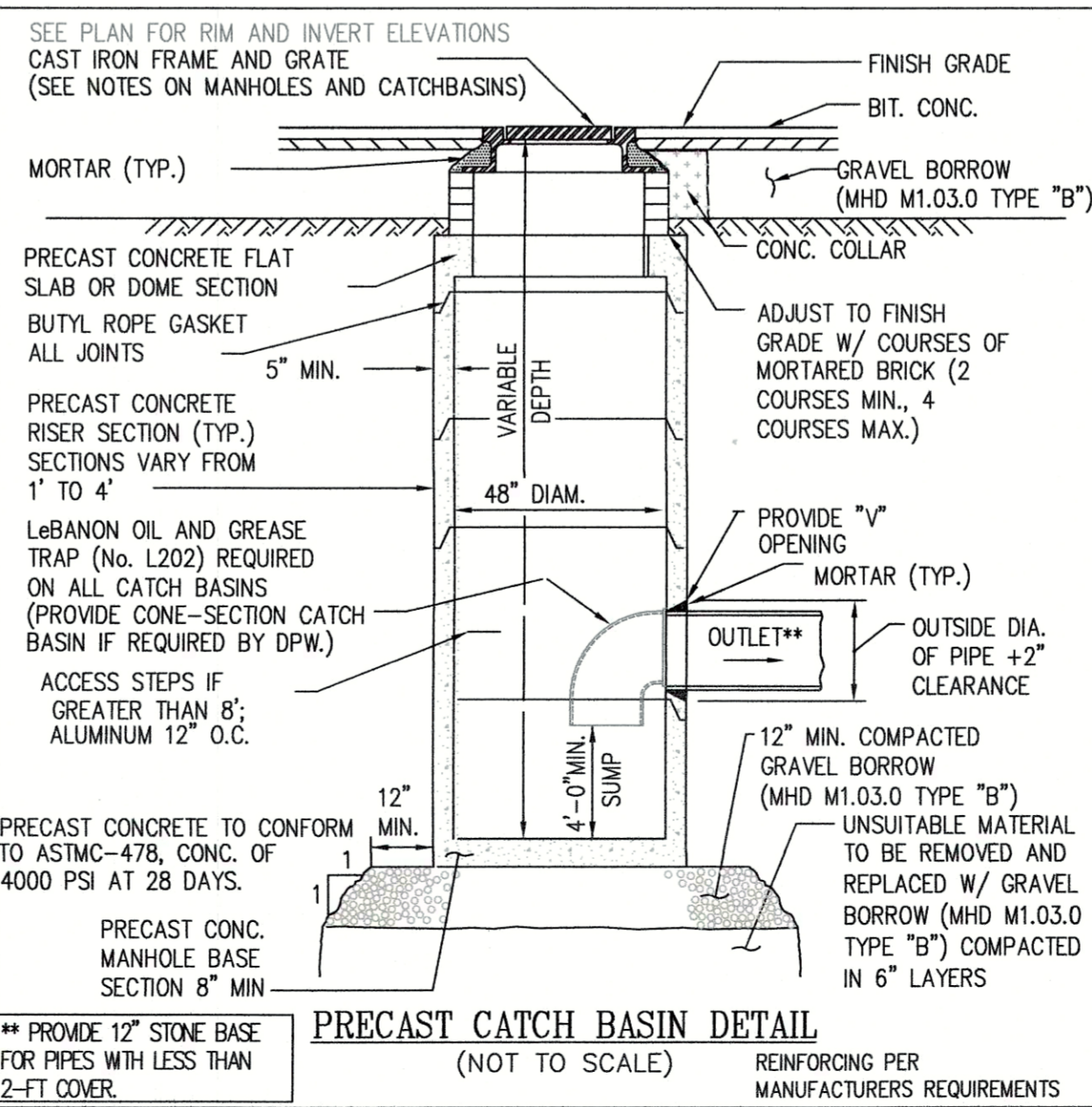
TRENCH WIDTH DATA

TRENCH WIDTH, Ws OR Wu	D (DIAMETER OF PIPE)	Wu UNSHEETED	Ws SHEETED
12" & SMALLER	3'-0"	4'-2"	
15"	3'-2"	4'-4"	
18"	3'-6"	4'-8"	
21"	3'-10"	5'-0"	
24"	4'-2"	5'-4"	
27"	4'-6"	5'-8"	
30"	4'-10"	6'-0"	
36"	5'-6"	6'-8"	
42"	6'-2"	7'-4"	
48"	6'-10"	8'-0"	



CATCHBASIN MAINTENANCE:

- THE INLET GRATE MUST NOT BE WELDED TO THE FRAME SO THAT SEDIMENTS MAY BE EASILY REMOVED.
- HOODS MUST BE USED IN DEEP SUMP CATCH BASINS.
- INSPECT OR CLEAN DEEP SUMP CATCH BASINS AT LEAST FOUR TIMES PER YEAR AND AT THE END OF THE FOLIAGE AND SNOW REMOVAL SEASONS.
- SEDIMENTS MUST BE REMOVED A MINIMUM OF FOUR TIMES PER YEAR OR WHENEVER THE DEPTH OF DEPOSITS IS GREATER THAN OR EQUAL TO ONE HALF THE DEPTH FROM THE BOTTOM OF THE INVERT OF THE LOWEST PIPE IN THE BASIN.
- CLAMSHELL BUCKETS ARE TYPICALLY USED TO REMOVE SEDIMENT IN MASSACHUSETTS. HOWEVER, VACUUM TRUCKS ARE PREFERABLE, BECAUSE THEY REMOVE MORE TRAPPED SEDIMENT AND SUPERNATANT THAN CLAMSHELLS.
- VACUUMING IS ALSO A SPEEDIER PROCESS AND IS LESS LIKELY TO SNAP THE CAST IRON HOOD WITHIN THE DEEP SUMP CATCH BASIN.



TOWN OF BRIDGEWATER WATER DEPARTMENT REGULATIONS

tees: Mueller tees, or equal, to have suitable thrust backing, with surface area of, prime importance: this may be concrete or flat stones wedged tightly. Hydrant tees to be flanged branch, to flanged gate, on run out.

Gates: Mueller gates, or equal, to be open left, to meet A.W.W.A. specifications, and to be set on flat stone to support weight. A gate on each branch of a tee or cross will be required, unless otherwise specified at the time of approval of the plan. A gate at the end of the line will be required unless extension of the line, at a future date, is not possible.

Gate boxes not to rest on gate bannets. In line gates every 1,000 feet.

Pipe: All pipe to be J. M. Blue Brute, Clow Super Main 900 P.V.C., C-900 P.V.C. or ductile iron, to meet Water Department specifications, and to be no less than 8" in size, unless otherwise specified. Pipe to be laid on earth mound, tamped and back-filled, according to manufacturer's specifications.

Hydrants: Mueller, (Bridgewater Specifications), or, Metropolitan (Bridgewater Specifications), with bury depth compatible to the area of installation. Hydrant to be "back washed" and "bored" with suitable materials, (cement or flat stones). Hydrant locations to be determined at time of the plan approval. Hydrant behind sidewalk on property line. Hydrants to be 500 feet apart.

Service Connections: Corporations and curb stops to be compression fittings. Mueller Hayes or equal, (open left), C.C. thread - 1" or equal to be approved by the Water Department.

Service connections will be tapped with Smith-Blair service saddles, or equal. Size 1" X 8" or equal to be approved by the Water Department.

All connections will be at a 45-degree rise to allow for gooseneck.

All Duplex dwellings will be required to have a separate service for each unit tapped directly from the main.

All service lines to be 1" Polyethylene, A.W.W.A. C-901, 200 P.S.I.

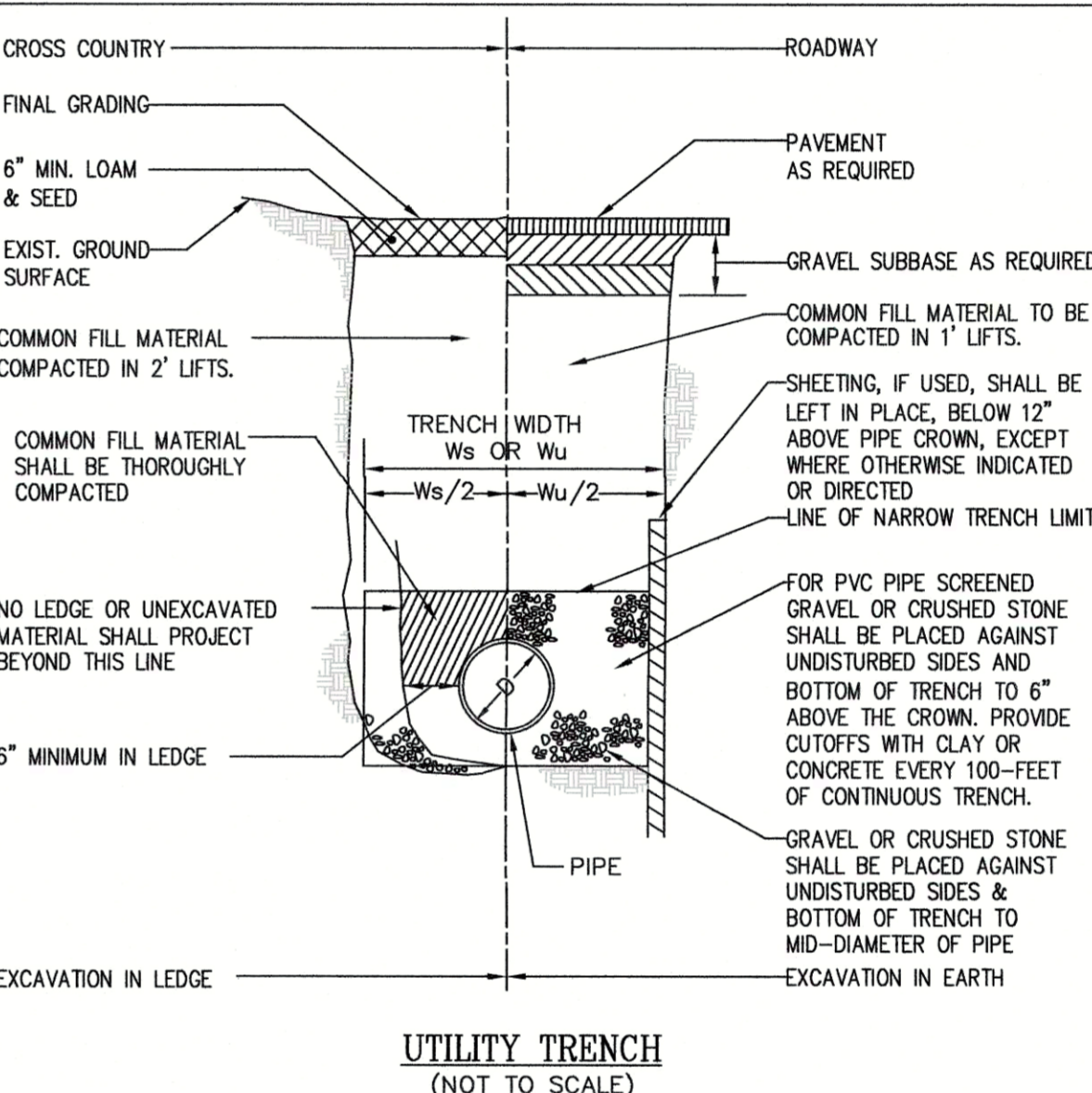
All service lines will, at all times, be inspected by the Water Department Inspector, at the owner's expense, before the water is accepted by the Department.

Curb Boxes: All curb boxes to be Erie pattern, with rod, of comparative length 4' to 5' bury.

Inspections: No water installation will be without a full-time inspector as approved by the Board of Water & Sewer Commissioners, and paid for by the contractor.

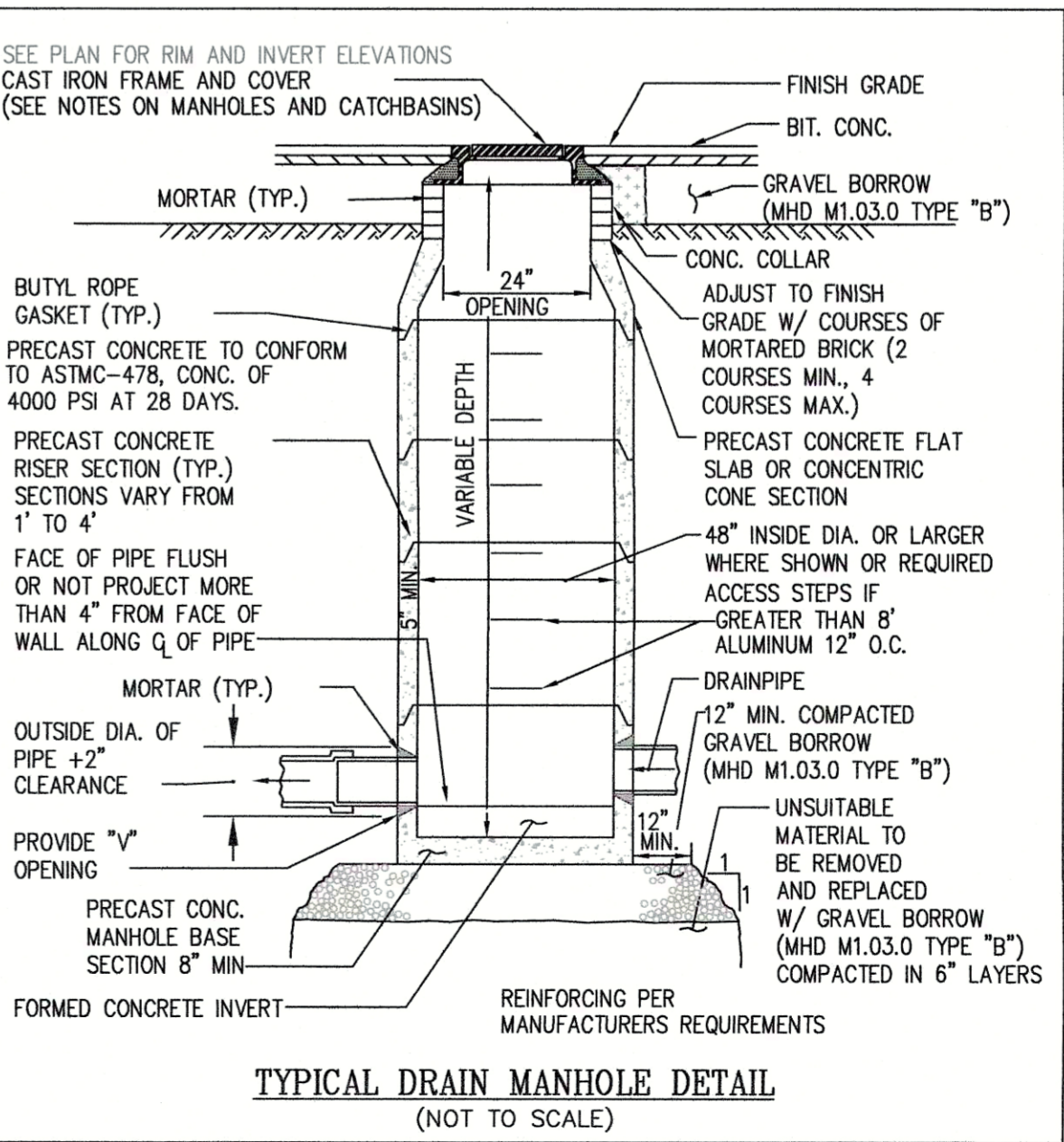
Testing: All bacteria testing will be conducted by the Inspector or in his presence. No water will be turned on or accepted before a written report is received from the inspector and stated that all requirements are met. A certified Sanitarian, reporting on Chlorine Bacteria test and that the water is free of harmful bacteria. A Pressure Test also has to be conducted (150 lbs For 1/2 hour, then drop to line pressure and brought back to 150 lbs. And hold for 1/2 hour).

Corporation: A 1" corporation to be installed on first length of 8" pipe for chlorine induction. A 1" corporation and 1" curb cock, with a service saddle, to be installed on last length for chlorine blow-off.



MANHOLES AND CATCHBASINS:

ALL MATERIALS CONTAINED HEREIN SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES (MASS DOT LATEST EDITION). MANHOLE FRAMES AND COVERS SHALL CONFORM TO SECTION M 8.03.0 OF THE SPECIFICATIONS. MANHOLE FRAMES SHALL ALSO CONFORM TO TYPE A AS SHOWN ON PLATE NO. 202.6.0 OF THE SPECIFICATIONS AND SHALL PROVIDE A CLEAR OPENING OF 24 INCHES IN DIAMETER. SUCH FRAMES SHALL HAVE A MINIMUM WEIGHT OF 265 POUNDS. MANHOLE COVERS SHOULD HAVE A MINIMUM WEIGHT OF 200 POUNDS. COVERS SHALL HAVE THE WORD "DRAIN" CAST ON THEM. CATCH BASIN FRAMES SHALL CONFORM TO PLATE NO. 201.6.0 OF THE SPECIFICATIONS. THEY SHALL PROVIDE FOR A CLEAR OPENING OF 22 INCHES SQUARE. CATCH BASIN FRAMES SHALL HAVE A MINIMUM WEIGHT OF 265 POUNDS FOR THE 3 FLANGE TYPE AND 265 POUNDS FOR THE 4 FLANGE TYPE. CATCH BASIN GRATES SHALL BE OF THE SQUARE HOLE TYPE AND SHALL HAVE A MINIMUM WEIGHT OF 220 POUNDS. THE OPENINGS SHALL BE 2 INCHES BY 2 INCHES AND SHALL BE A MINIMUM OF FIFTY PERCENT OF THE GRATE AREA."



FOR REGISTRY USE ONLY

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES & REGULATIONS OF THE REGISTRY OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS, AND THE DESIGN AND CONTENT OF THE DEFINITIVE SUBDIVISION PLAN RELATIVE TO ENGINEERING CONFORMS WITH ALL APPLICABLE RULES AND REGULATIONS ESTABLISHED HEREIN WITH EXCEPTIONS SPECIFICALLY NOTED ON THE PLAN.



LAWRENCE P. SILVA, P.E. REG. No. 33381-C

DATE 10-12-2014

PARCEL DATA:

ASSESSOR'S MAP 66, LOT 43, MAP 52, LOTS 12-17, 19-21, 23 & 32
CURRENT OWNER: 5P FORESTER REAL ESTATE TRUST
DEED REFERENCE: LOT 43 BOOK 31526, PAGE 16
LOTS 12-17, 19-21, 23 & 32 BK 31299, PG 186
TOTAL AREA: 72.9 Acres
ZONING REFERENCE: RESIDENTIAL A/B OPEN SPACE COMMUNITY*
MIN. LOT SIZE: 43,560 S.F. 21,780 S.F.
MIN. FRONTAGE: 150 FEET 50 FEET
MIN. FRONT YARD: 40 FEET 30 FEET
MIN. SIDE YARD: 20 FEET 12 FEET
MIN. REAR YARD: 30 FEET 20 FEET
* OPEN SPACE COMMUNITY REGULATIONS IN PLACE AT TIME MASTER PLAN WAS FILED.
THE FLOOD INSURANCE RATE MAP IDENTIFIES THE SUBJECT PROPERTY AS BEING IN ZONE X; MAP 25023C0306K; DATED JULY 16, 2015.

REVISIONS		
DATE	DRAWN	DESCRIPTION

DEFINITIVE SUBDIVISION OPEN SPACE COMMUNITY DEVELOPMENT OLDFIELD ESTATES PHASE 2

"CONSTRUCTION DETAILS"

SITE:
ASSESSOR'S MAP 66, LOT 43
ASSESSOR'S MAP 52, LOTS 12-17,
19-21, 23 & 32
off OLDFIELD ROAD
BRIDGEWATER, MASSACHUSETTS

PREPARED FOR:
5P FORESTER REAL ESTATE TRUST

SEA SILVA
ENGINEERING
ASSOCIATES, P.C.
CIVIL ENGINEERS, LAND SURVEYORS
& ENVIRONMENTAL CONSULTANTS
1615 BEDFORD STREET
BRIDGEWATER, MA 02324
PHONE (508) 697-3100 FAX (508) 697-3136
www.silvaeng.com

SCALE	DRAWN	DATE	ACAD FILE	SHEET
1" = 40'	MGB	10/12/16	05056WS3	CD1

NOTES:
PLANS SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN A COVENANT, TO BE RECORDED HERewith.

BRIDGEWATER BOARD OF HEALTH

DATE _____

BRIDGEWATER PLANNING BOARD

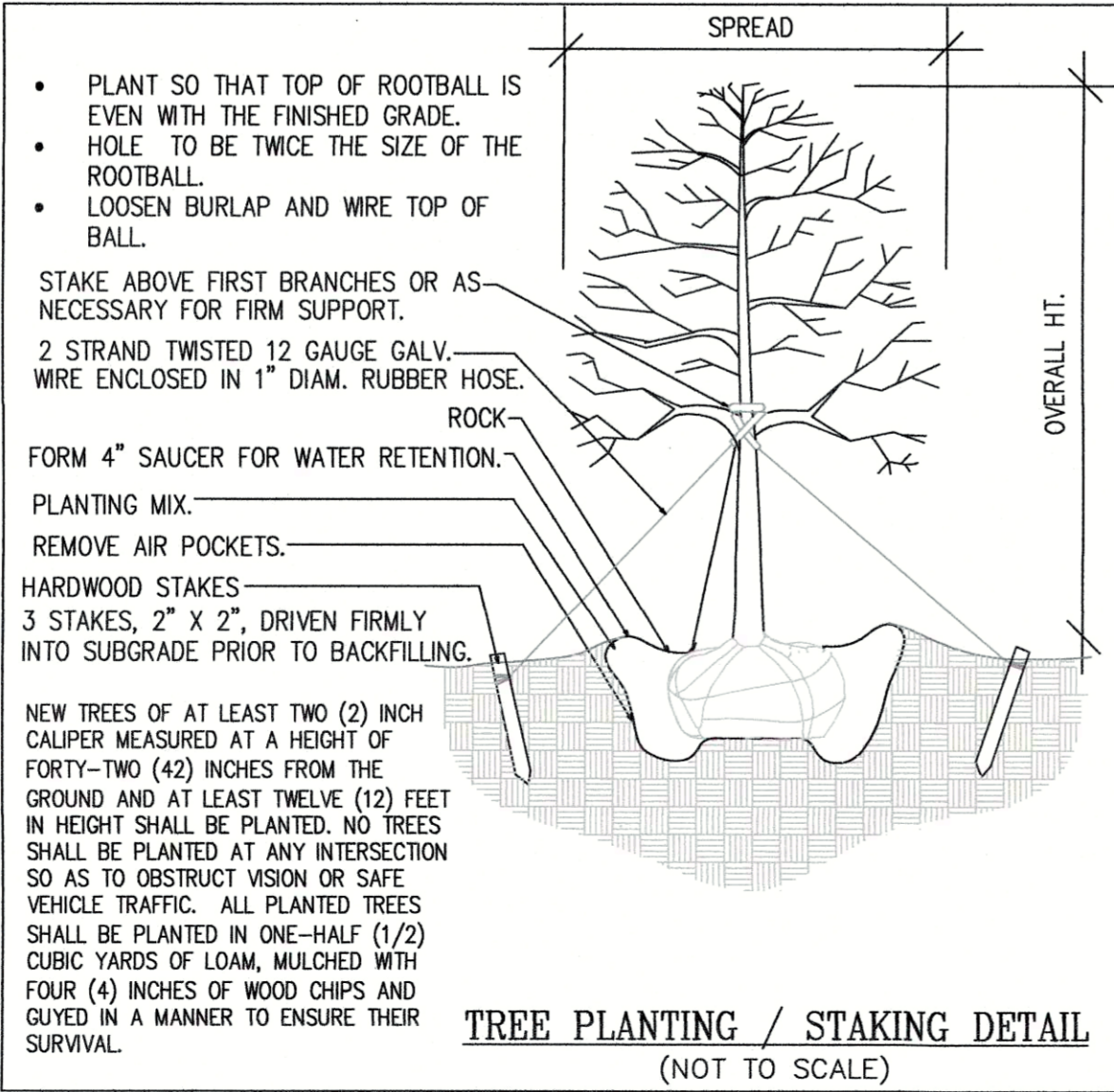
APPROVAL UNDER SECTION 81-U SUBDIVISION CONTROL LAW REQUIRED

DATE _____

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE BRIDGEWATER PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL HAS BEEN RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT OF SAID NOTICE.

DATE _____

BRIDGEWATER TOWN CLERK



SCALE	DRAWN	DATE	ACAD FILE	SHEET
1"=40'	MGB	10/12/16	05056WS3	CD2

NOTES:

PLANS SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN A COVENANT, TO BE RECORDED HEREWITH.

BRIDGEWATER BOARD OF HEALTH

DATE

BRIDGEWATER PLANNING BOARD

APPROVAL UNDER SECTION 81-U SUBDIVISION CONTROL LAW REQUIRED

DATE

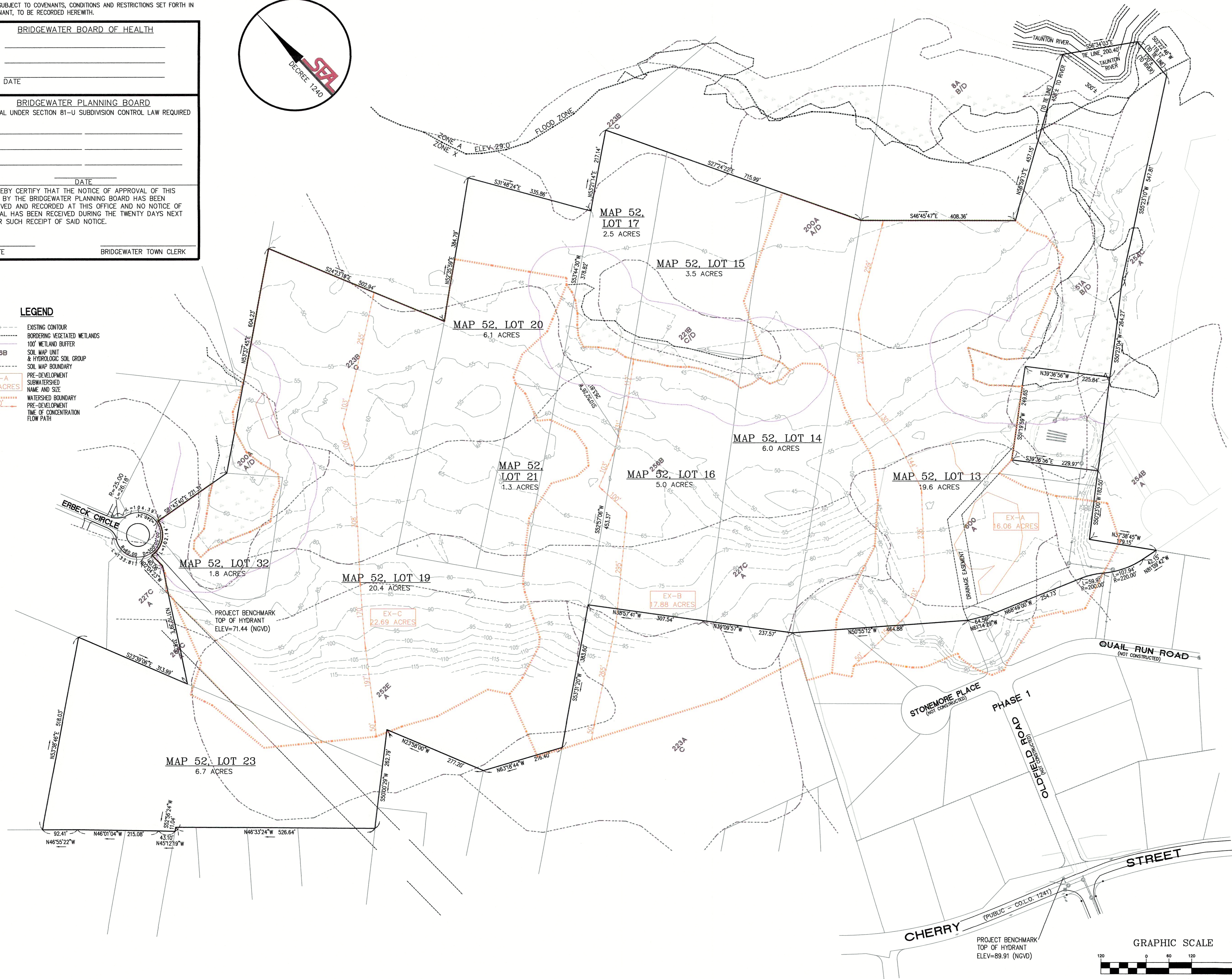
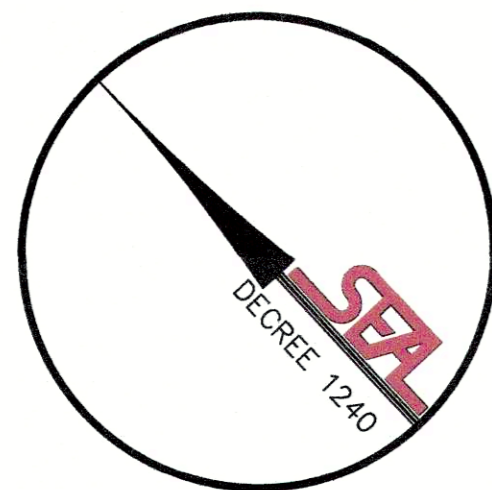
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DATE

BRIDGEWATER TOWN CLERK

LEGEND

- 50--- EXISTING CONTOUR
- BORDERING VEGETATED WETLANDS
- 100' WETLAND BUFFER
- 256B A SOIL MAP UNIT & HYDROLOGIC SOIL GROUP
- SOIL MAP BOUNDARY
- EX-A 0.00 ACRES PRE-DEVELOPMENT SUBWATERSHED NAME AND SIZE
- WATERSHED BOUNDARY
- PRE-DEVELOPMENT TIME OF CONCENTRATION FLOW PATH



FOR REGISTRY USE ONLY

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES & REGULATIONS OF THE REGISTRY OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS, AND THE LAND BOUNDARY DATA AND THE TOPOGRAPHIC DATA SHOWN ON THE PLAN(S) HAVE BEEN OBTAINED, COMPILED AND PREPARED IN CONFORMANCE TO 250 CMR 6.01 AND 250 CMR 6.02 RESPECTIVELY, AS AMENDED; NOTING ANY DEVIATIONS FROM THESE REGULATIONS.



LAWRENCE P. SILVA, P.E. REG No. 33381-C

DATE 10-12-2016

PARCEL DATA:

ASSESSOR'S MAP 66, LOT 43, MAP 52, LOTS 12-17, 19-21, 23 & 32
CURRENT OWNER: 5P FORESTER REAL ESTATE TRUST
DEED REFERENCE: LOT 43 BOOK 31526, PAGE 16

LOTS 12-17, 19-21, 23 & 32 BK 31299, PG 186
TOTAL AREA: 72.9 Acres

ZONING REFERENCE: RESIDENTIAL A/B OPEN SPACE COMMUNITY*

MIN. LOT SIZE:	43,560 S.F.	21,780 S.F.
MIN. FRONTAGE:	150 FEET	50 FEET
MIN. FRONT YARD:	40 FEET	30 FEET
MIN. SIDE YARD:	20 FEET	12 FEET
MIN. REAR YARD:	30 FEET	20 FEET

* OPEN SPACE COMMUNITY REGULATIONS IN PLACE AT TIME MASTER PLAN WAS FILED.

THE FLOOD INSURANCE RATE MAP IDENTIFIES THE SUBJECT PROPERTY AS BEING IN ZONE X; MAP 25023C0306K; DATED JULY 16, 2015.

REVISIONS		
DATE	DRAWN	DESCRIPTION

DEFINITIVE SUBDIVISION
OPEN SPACE COMMUNITY DEVELOPMENT
OLDFIELD ESTATES
PHASE 2

'PRE-DEVELOPMENT'

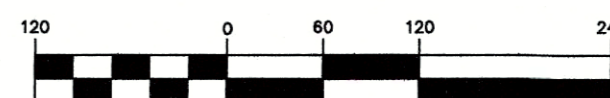
SITE:
ASSESSOR'S MAP 66, LOT 43
ASSESSOR'S MAP 52, LOTS 12-17,
19-21, 23 & 32
off OLDFIELD ROAD
BRIDGEWATER, MASSACHUSETTS

PREPARED FOR:
5P FORESTER REAL ESTATE TRUST

SEA SILVA
ENGINEERING
ASSOCIATES, P.C.
CIVIL ENGINEERS, LAND SURVEYORS
& ENVIRONMENTAL CONSULTANTS
1615 BEDFORD STREET
BRIDGEWATER, MA. 02324
PHONE (508) 697-3100 FAX (508) 697-3136
www.silvaeng.com

SCALE	DRAWN	DATE	ACAD FILE	SHEET
1" = 120'	MGB	10/12/16	05056WS3	PRE

GRAPHIC SCALE



(IN FEET)
1 inch = 120 ft.

NOTES:

PLANS SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN A COVENANT, TO BE RECORDED HEREWITH.

BRIDGEWATER BOARD OF HEALTH

DATE

BRIDGEWATER PLANNING BOARD

APPROVAL UNDER SECTION 81-U SUBDIVISION CONTROL LAW REQUIRED

DATE

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE BRIDGEWATER PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL HAS BEEN RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT OF SAID NOTICE.

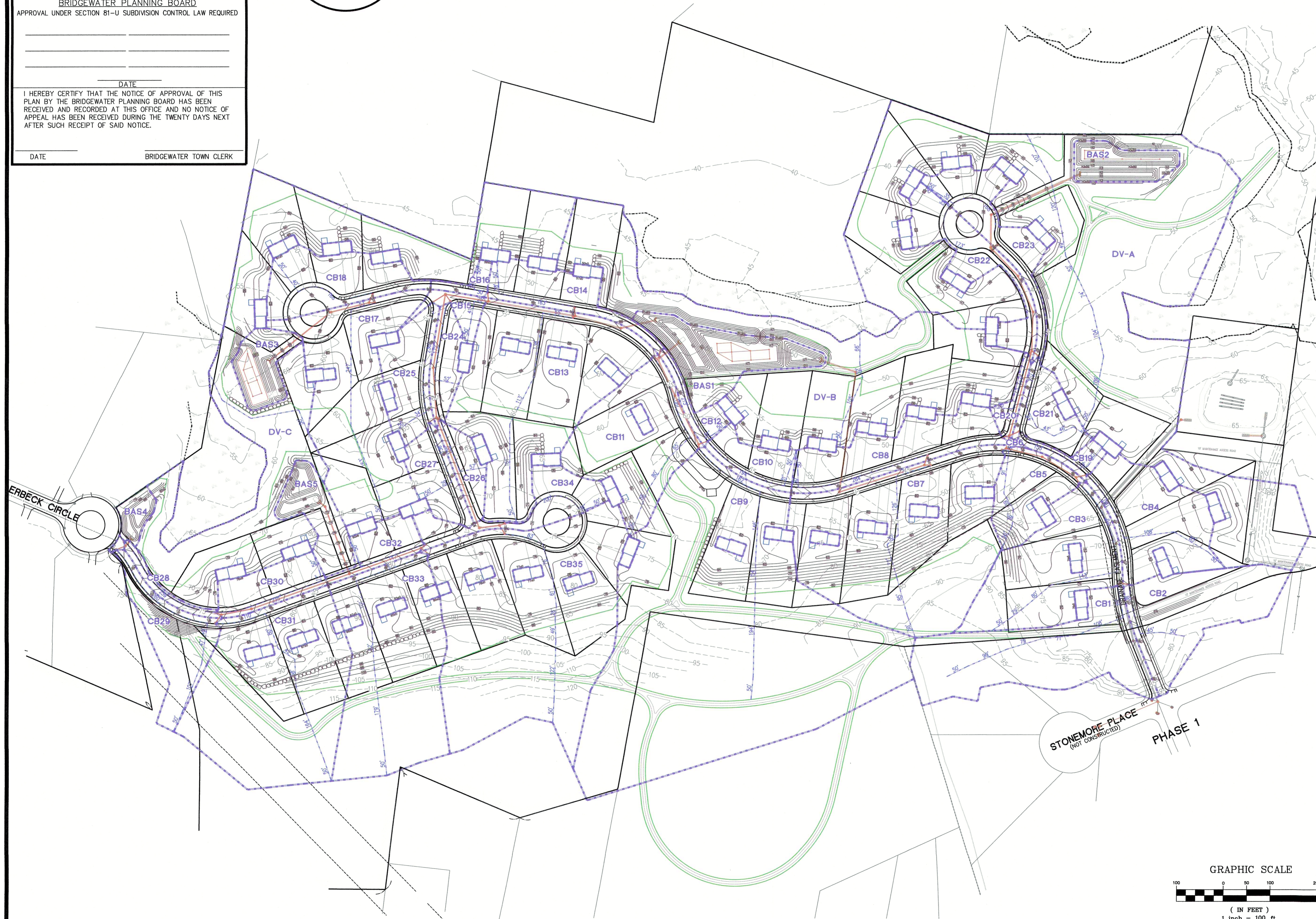
DATE

BRIDGEWATER TOWN CLERK

LEGEND

--- 50' --- EXISTING CONTOUR
--- 50' --- BORDERING VEGETATED WETLANDS
--- 50' --- PROPOSED CONTOUR
--- 50' --- POST-DEVELOPMENT SUBWATERSHED NAME
--- 50' --- WATERSHED BOUNDARY
--- 50' --- POST-DEVELOPMENT TIME OF CONCENTRATION
--- 50' --- FLOW PATH

CB1 -72,064 SF	CB11 -58,823 SF	CB21 -17,896 SF	CB31 -113,168 SF	DV-A -340,812 SF
CB2 -45,560 SF	CB12 -8,223 SF	CB22 -30,472 SF	CB32 -14,553 SF	DV-B -156,805 SF
CB3 -61,236 SF	CB13 -111,321 SF	CB23 -29,342 SF	CB33 -94,463 SF	DV-C -177,916 SF
CB4 -49,475 SF	CB14 -24,549 SF	CB24 -13,459 SF	CB34 -24,768 SF	
CB5 -25,000 SF	CB15 -7,151 SF	CB25 -24,872 SF	CB35 -162,557 SF	
CB6 -444 SF	CB16 -4,596 SF	CB26 -11,673 SF	BAS1 -35,745 SF	
CB7 -132,672 SF	CB17 -86,188 SF	CB27 -17,238 SF	BAS2 -15,797 SF	
CB8 -42,020 SF	CB18 -36,123 SF	CB28 -4,898 SF	BAS3 -16,080 SF	
CB9 -292,208 SF	CB19 -6,515 SF	CB29 -29,653 SF	BAS4 -6,142 SF	
CB10 -15,212 SF	CB20 -5,158 SF	CB30 -19,673 SF	BAS5 -19,540 SF	



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LAWRENCE P. SILVA, P.E. REG No. 33381-C

DATE 10-12-2016

PARCEL DATA:

ASSESSOR'S MAP 66, LOT 43, MAP 52, LOTS 12-17, 19-21, 23 & 32
CURRENT OWNER: SP FORESTER REAL ESTATE TRUST
DEED REFERENCE: LOT 43 BOOK 31526, PAGE 16
LOTS 12-17, 19-21, 23 & 32 BK 31299, PG 186
TOTAL AREA: 72.9 Acres

ZONING REFERENCE: RESIDENTIAL A/B OPEN SPACE COMMUNITY*
MIN. LOT SIZE: 43,560 S.F. 21,780 S.F.
MIN. FRONTAGE: 150 FEET 50 FEET
MIN. FRONT YARD: 40 FEET 30 FEET
MIN. SIDE YARD: 20 FEET 12 FEET
MIN. REAR YARD: 30 FEET 20 FEET

* OPEN SPACE COMMUNITY REGULATIONS IN PLACE AT TIME MASTER PLAN WAS FILED.

THE FLOOD INSURANCE RATE MAP IDENTIFIES THE SUBJECT PROPERTY AS BEING IN ZONE X; MAP 25023C0306K; DATED JULY 16, 2015.

REVISIONS		
DATE	DRAWN	DESCRIPTION

DEFINITIVE SUBDIVISION
OPEN SPACE COMMUNITY DEVELOPMENT
OLDFIELD ESTATES
PHASE 2

'POST-DEVELOPMENT'

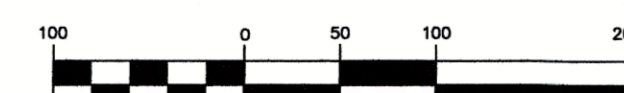
SITE:
ASSESSOR'S MAP 66, LOT 43
ASSESSOR'S MAP 52, LOTS 12-17,
19-21, 23 & 32
off OLDFIELD ROAD
BRIDGEWATER, MASSACHUSETTS

PREPARED FOR:
SP FORESTER REAL ESTATE TRUST

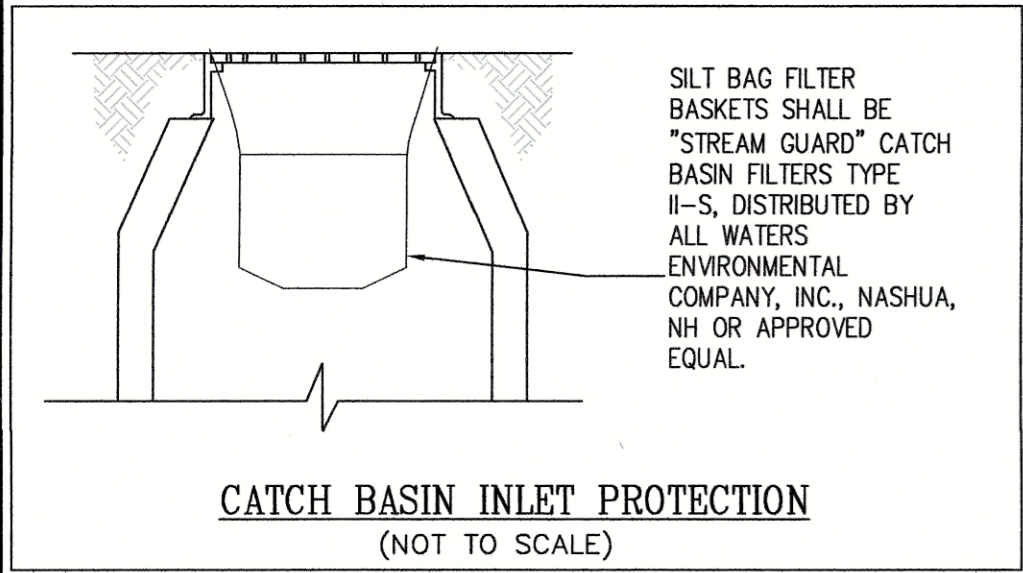
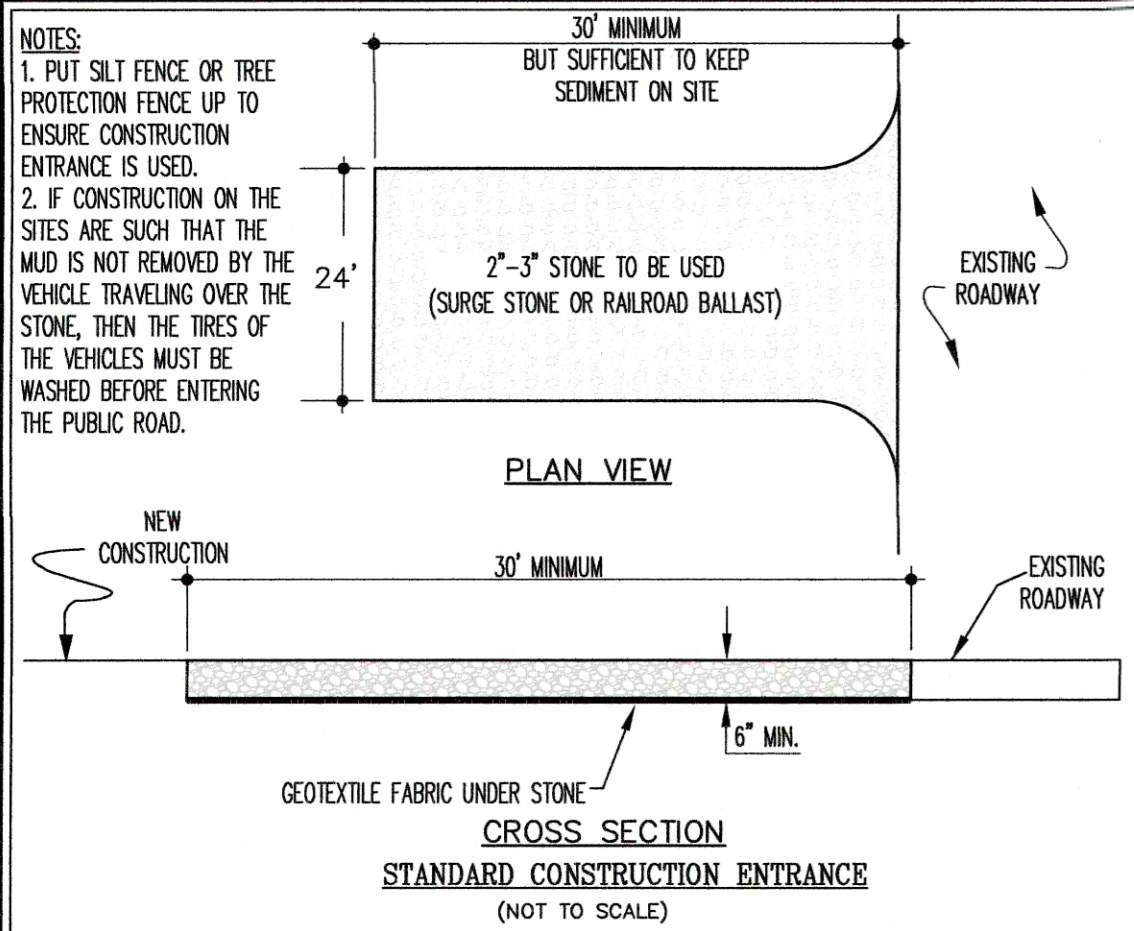
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www.silvaeng.com

SCALE	DRAWN	DATE	ACAD FILE	SHEET
1" = 100'	MGB	10/12/16	05056WS3	POST

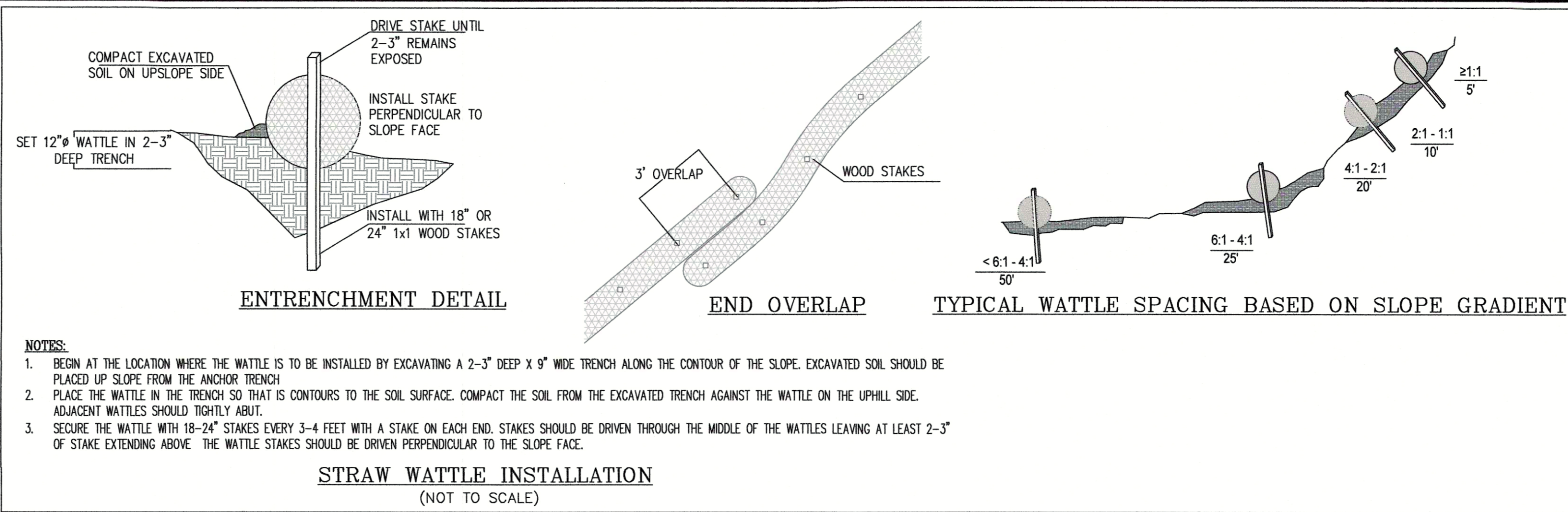
GRAPHIC SCALE



(IN FEET)
1 inch = 100 ft.



- Planned Erosion and Sedimentation Control**
1. Temporary Gravel Construction Entrance/Exit: A temporary gravel entrance shall be installed for dust mitigation. Crushed stone (3/4" to 1 1/2") shall be placed a minimum of thirty (30) feet into site at entrance ways during construction activities. During wet weather it may be necessary to wash vehicle tires at this location. The entrance will be graded so that runoff water will not be directed to critical resources areas.
 2. Catch Basin/Water Quality Inlet Protection: A temporary silt sack will be installed on all inlets and be protected by haybales until such time as deemed appropriate after stabilization of the proposed drainage system.
 3. Tree Preservation and Protection: A minimum 2.0 ft. high protective fence will be erected around any trees that are to remain on site during and after construction activities. Sediment fence materials may be used for this purpose.
 4. Sediment Fence: A sediment fence will be constructed around the topsoil stockpile and adjacent to the deep cut areas as necessary to prevent erosion and sediment from entering critical areas.
 5. Outlet Stabilization Structure: A riprap apron will be located at ALL drainage outlets shown on the plans to prevent scour.
 6. Surface Roughening: The 3:1 cut slopes will be lightly roughened by disking just prior to vegetating, and the surface 4 to 6 inches of the 2:1 fill slopes will be left in a loose condition and grooved on the contour.
 7. Surface Stabilization: Stabilization of the surface will be accomplished with vegetation and mulch. Roadway and parking lot base courses will be installed as soon as finished grade is reached.



Dust Control: The Contractor shall take steps to minimize the amount of dust generated on the site including those procedures contained in this document.

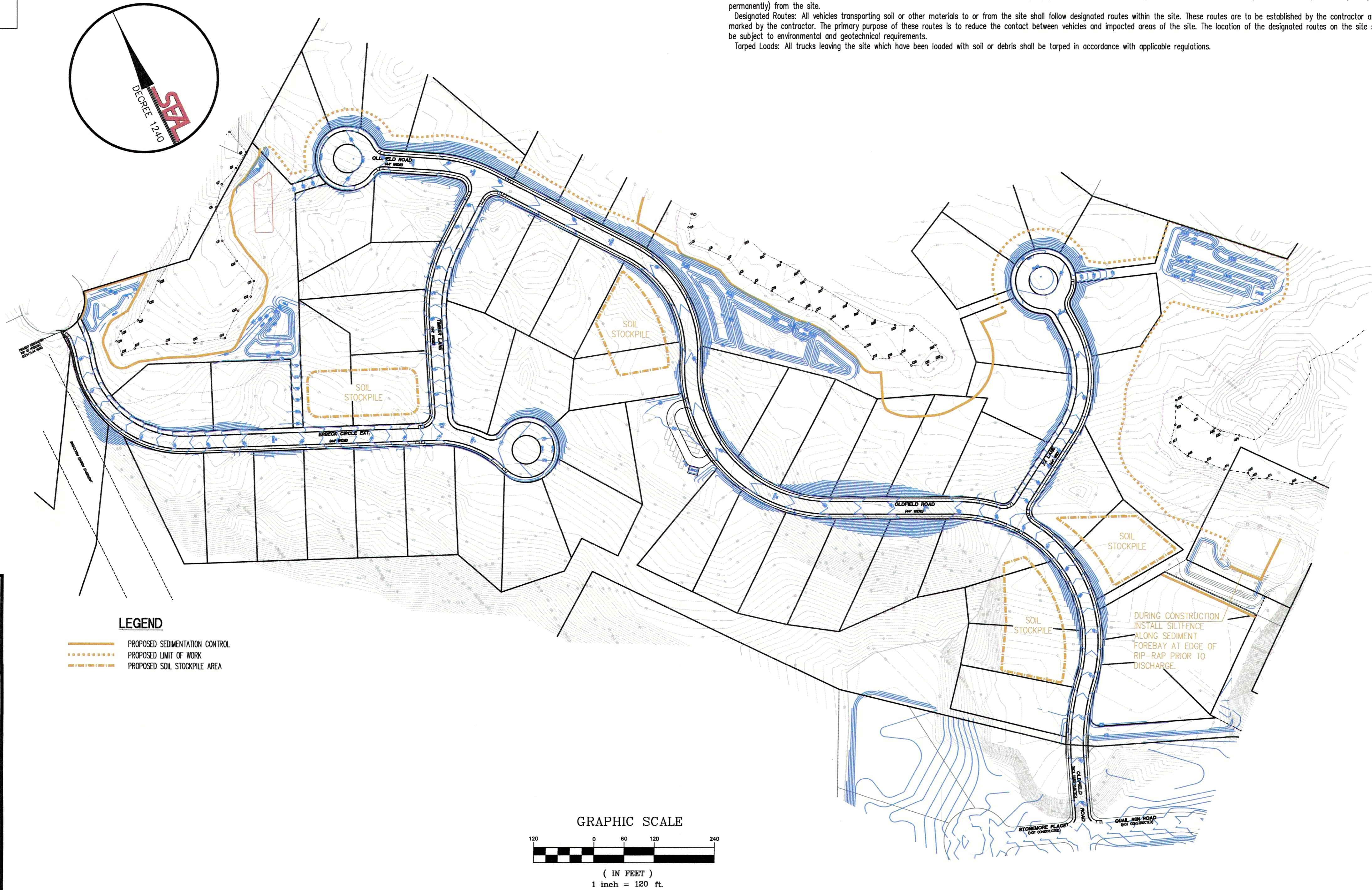
Surface Wetting: The Contractor shall ensure that all surfaces to be excavated are wet prior to, and if necessary, during excavation. Other potential wetting and/or dust control agents may be proposed for use by the Contractor and must be approved by the Town prior to use on site. If water is applied to the site, it shall not be applied in sufficient quantity or pressure to cause channeling or erosion of the surface to which it is applied.

Pavement Cleaning: During periods when trucks are transporting soil and/or landscaping materials to or from the site, dirt that may have been tracked off the site shall be removed daily from the pavement and sidewalks. The area to be cleaned is to extend to the limit of noticeable dirt tracked from the site or for a distance of 100 feet on each side of a vehicle entrance or exit, whichever is greater. If water is used to clean the sidewalk or street then the quantity of water used shall not result in sediment being washed into the storm sewer catch basins or for excess water to freeze on the street. If in the opinion of the Town, manual street sweeping is insufficient to control the dirt tracked from the site, the Town may require the Contractor to use a mechanical street sweeper for pavement cleaning operations. Street sweepings shall not be disposed in any catch basin or any sewer. Street sweepings shall be disposed of as a waste along with waste soil in accordance with applicable regulations.

Entry/Exit Points: All equipment, including but not limited to vehicles, trucks, excavating equipment and hand tools leaving the site must be free of dirt prior to removal (either temporarily or permanently) from the site.

Designated Routes: All vehicles transporting soil or other materials to or from the site shall follow designated routes within the site. These routes are to be established by the contractor and marked by the contractor. The primary purpose of these routes is to reduce the contact between vehicles and impacted areas of the site. The location of the designated routes on the site shall be subject to environmental and geotechnical requirements.

Tarped Loads: All trucks leaving the site which have been loaded with soil or debris shall be tarped in accordance with applicable regulations.



NOTES:
PLANS SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN A COVENANT, TO BE RECORDED HEREWITH.

BRIDGEWATER BOARD OF HEALTH

DATE

BRIDGEWATER PLANNING BOARD
APPROVAL UNDER SECTION 81-U SUBDIVISION CONTROL LAW REQUIRED

DATE

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE BRIDGEWATER PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL HAS BEEN RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT OF SAID NOTICE.

DATE BRIDGEWATER TOWN CLERK

FOR REGISTRY USE ONLY

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LAWRENCE P. SILVA, P.E. REG No. 33381-C

DATE 10-12-2016

PARCEL DATA:

ASSESSOR'S MAP 66, LOT 43, MAP 52, LOTS 12-17, 19-21, 23 & 32
CURRENT OWNER: 5P FORESTER REAL ESTATE TRUST
DEED REFERENCE: LOT 43 BOOK 3152B, PAGE 16
LOTS 12-17, 19-21, 23 & 32 BK 31299, PG 186

TOTAL AREA: 72.9 Acres

ZONING REFERENCE: RESIDENTIAL A/B OPEN SPACE COMMUNITY*

MIN. LOT SIZE:	43,560 S.F.	21,780 S.F.
MIN. FRONTAGE:	150 FEET	50 FEET
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THE FLOOD INSURANCE RATE MAP IDENTIFIES THE SUBJECT PROPERTY AS BEING IN ZONE X; MAP 25023C0306K; DATED JULY 16, 2015.

REVISIONS		
DATE	DRAWN	DESCRIPTION

DEFINITIVE SUBDIVISION
OPEN SPACE COMMUNITY DEVELOPMENT
OLDFIELD ESTATES
PHASE 2

'SEDIMENT & EROSION CONTROL'

SITE:
ASSESSOR'S MAP 66, LOT 43
ASSESSOR'S MAP 52, LOTS 12-17,
19-21, 23 & 32
off OLDFIELD ROAD
BRIDGEWATER, MASSACHUSETTS

PREPARED FOR:
5P FORESTER REAL ESTATE TRUST

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SCALE	DRAWN	DATE	ACAD FILE	SHEET
1"= 120'	MGB	10/12/16	05056WS3	EC